



VILLAGE OF MONTGOMERY

Plan Commission Meeting Agenda

September 1, 2016 7:00 P.M.

Village Hall Board Room

200 N. River Street, Montgomery, IL 60538

- I. Call to Order
- II. Pledge of Allegiance
- III. Roll Call
- IV. Approval of the Minutes of August 4, 2016
- V. Public Comment Period
- VI. Items for Plan Commission Action
 - a. 2016-022 Z Public Hearing and Consideration of a Text Amendment to Section 9 of the Zoning Ordinance Regarding Firearm Uses – Petitioner BJ’s Shooting, LLC.
 - b. 2016-023 SU Public Hearing and Consideration of a Special Use for a Firearm Use Located at 1840 Douglas Road – Petitioner BJ’s Shooting, LLC.
 - c. 2016-024 SU Public Hearing and Consideration of an Amendment to a Special Use to Expand the Number of Drive-Through and Outdoor Café Uses Located on Parcel Index Number 03-02-201-046 in the Ogden Hill Commercial Subdivision – Petitioner Inland National Development Corporation.
 - d. 2016-025 Z Public Hearing and Consideration of a Text Amendment to Section 12 of the Zoning Ordinance Regarding Signs.
- VII. Community Development Update/New Business
- VIII. Next Meeting: October 6, 2016
- IX. Adjournment building



Plan Commission Meeting

August 4, 2016

I. CALL TO ORDER:

Chairman Hammond called the meeting to order at 7:00p.m.

II. PLEDGE OF ALLEGIANCE:

All present gave the pledge of allegiance.

III. ROLL CALL:

| | | | |
|----------------|---------|----------------------|---------|
| Tom Betsinger | Present | John Francis | Present |
| Tom Yakaitis | Absent | Mildred McNeal-James | Present |
| Patrick Kelsey | Present | Butch Distajo | Present |
| Mike Hammond | Present | | |

Also present: Attorney Laura Julien; Director of Community Development Richard Young; Senior Planner Jerad Chipman; Village Engineer Tim Paulson; Montgomery-Countryside Fire Protection District Chief Tom Meyers; Trustee Denny Lee; Executive Director of the Montgomery Economic Development Corporation Charlene Coulombe-Fiore and members of the audience.

IV. APPROVAL OF MINUTES:

MOTION: Motion was made by Vice-Chair Kelsey to approve the minutes of the July 7, 2016 Plan Commission Meeting. Commissioner Betsinger seconded the motion. Motion passed 6-0.

Ayes: Kelsey, Hammond, Francis; McNeal-James; Distajo and Betsinger

Nays: None

V. PUBLIC COMMENT PERIOD:

There were no comments from the public.

VI. ITEMS FOR PLAN COMMISSION ACTION:

- a) 2016-020 A, Z, FP Public Hearing and Consideration of an Annexation, Zoning and Final Plat for Old Dominion Freight Line Located on Aucutt Road.**

The Plan Commission discussed the proposed annexation, rezoning and final plat for Old Dominion Freight. Senior Planner Chipman stated that the Petitioner is proposing to construct a freight terminal on an unincorporated parcel on Aucutt Road. Staff is working with the Petitioner to address outstanding items pertaining to the plans and traffic study,

and is requesting that the approval be contingent upon planning, engineering, legal and landscaping review.

Village Engineer Tim Paulson addressed items related to the site engineering and stated that additional documentations were needed from the Petitioner in order to proceed with the development.

Chairman Hammond opened the public hearing. No comment from the public and the hearing was closed.

MOTION: Motion was made by Vice Chair Kelsey to recommend approval to the annexation, rezoning and final plat subject to review of the traffic study and review by Planning, Engineering, Landscape and Village Attorney. Commissioner Francis seconded the motion. Motion passed 6-0.

Ayes: Kelsey, Hammond Francis, McNeal-James, Distajo and Betsinger

Nays: None

b) 2016-021 Z Public Hearing and Consideration of a Text Amendment to Section 4 of the Zoning Ordinance Regarding Fences.

Senior Planner Chipman gave a brief overview of the staff report, stating that staff was recommending that galvanized chain link fence be permitted in the Manufacturing Districts as many properties currently have galvanized fences and the Zoning Ordinance precludes chain link fence in the front and corner side setbacks. As fences are not able to be located in the front and corner side setbacks, the result is that chain link fences would not be allowed to be located closer than twenty-five (25) feet from a street right-of-way and behind landscaping.

The Plan Commission discussed the text amendment to Section 4 of the Zoning Ordinance to allow chain link fences in the Manufacturing Districts to be galvanized metal rather than black vinyl coated. Black vinyl coated fences would continue to be required in the business districts.

Commissioner McNeal-James voiced concern in regards to promoting a higher aesthetic throughout the Village.

Chairman Hammond opened the public hearing. No comment from the public and the hearing was closed.

MOTION: Motion was made by Commissioner Francis to approve the text amendment to the fence standards. Commissioner Betsinger seconded the motion. Motion passed 5-1.

Ayes: Francis, Betsinger, Kelsey, Hammond, McNeal-James and Distajo

Nays: McNeal-James

VII. COMMUNITY DEVELOPMENT UPDATE/NEW BUSINESS:

a) Deviations to the Light Requirements found in the Landscaping and Screening Regulations of the Zoning Ordinance.

1) **Deviation requested by American Crystal Sugar Company proposing thirty (30) feet tall light fixtures.**

MOTION: Motion was made by Commissioner Francis to recommend approval of the deviation to the Zoning Ordinance to allow light fixtures to be install at a height of thirty (30) feet. Vice-Chair Kelsey seconded the motion. Motion passed 6-0.

Ayes: Kelsey, Hammond, Francis, McNeal-James Distajo and Betsinger

Nays: None

2) **Deviation requested by Nexeo proposing thirty (30) feet tall light fixtures.**

MOTION: Motion was made by Commissioner Francis to recommend approval of the deviation to the Zoning Ordinance to allow light fixtures to be installed at a height of thirty (30) feet. Vice-Chair Kelsey seconded the motion. Motion passed 6-0.

Ayes: Francis, McNeal-James, Distajo, Betsinger Kelsey and Hammond

Nays: None

3) **Deviation requested by CenterPoint proposing thirty (30) feet tall light fixtures.**

CenterPoint originally requested approval for installing light poles at a height of forty (40) feet, however, staff recommended a maximum height of thirty (30) feet based on research conducted of surrounding communities.

Commissioner Kelsey stated that he was in favor of allowing CenterPoint to be allowed the light fixture heights that they originally requested.

Commissioner Distajo was in favor of allowing the light fixtures to be installed at thirty (30) feet, however, expressed his opinion that doubling the Village's current standard to forty (40) feet was excessive.

MOTION: Motion was made by Vice-Chair Kelsey to recommended approval of the deviation to the Zoning Ordinance to allow light fixtures to be install at a height of forty (40) feet on light poles and thirty (30) feet on the building. Commissioner Francis seconded the motion. Motion passed 4-2.

Ayes: Kelsey, Hammond Francis and Betsinger

Nays: McNeal-James, Distajo

4) **Deviation requested by Old Dominion proposing thirty (30) feet tall light fixtures.**

Old Dominion originally requested approval for installing light poles at various heights including forty (40) feet, however, staff recommended a maximum height of thirty (30) feet based on research conducted of surrounding communities.

The Commissioners discussed the appropriateness of forty (40) feet high light fixtures and the request that the building lights be angled. The discussion resulted in the following motion.

MOTION: Motion was made by Vice-Chair Kelsey to recommended approval of the deviation to the Zoning Ordinance to allow light fixtures to be install at a height of thirty (30) feet in front of the building, forty (40) feet behind the front façade of the building and lighting on the building to be elevated and tilted. Commissioner Francis seconded the motion. Motion passed 4-2.

Ayes: Kelsey, Hammond, Francis and Betsinger

Nays: McNeal-James, Distajo

b) Comprehensive Plan Implementation Summary Part 2 – Summary Review Results.

Senior Planner Jerad Chipman summarized the Commissioners top 10 objectives from July's Plan Commission in regards to the Commercial and Industrial objectives that could be completed versus those that would be considered ongoing.

c) Election of Plan Commission Chair and Vice-Chair.

MOTION: Motion was made by Commissioner Distajo to elect Mike Hammond as Chairman. Commissioner Francis seconded the motion. Motion passed 5-0-1.

Ayes: Distajo, Betsinger, Kelsey, Francis and McNeal-James

Nays: None

Obstain: Hammond

MOTION: Motion was made by Commissioner Distajo to elect Patrick Kelsey as Vice-Chairman. Commissioner Francis seconded the motion. Motion passed 5-0-1.

Ayes: Distajo, Betsinger, Hammond, Francis and McNeal-James

Nays: None

Obstain: Kelsey

VII. NEXT MEETING

September 1, 2016

VII. ADJOURNMENT

Having no further business to discuss, the meeting was adjourned at 8:02 p.m. by Chairman Hammond.

Respectfully submitted,

Toula Coffey
Administrative Assistant



**PC 2016-022
PLAN COMMISSION ADVISORY REPORT**

To: Chair Hammond and Members of the Plan Commission
From: Jerad Chipman, AICP
 Senior Planner
Date: August 25, 2016
Subject: 2016-022 Z Text Amendment to Section 9 of the Zoning Ordinance Regarding Firearm Uses.

Petitioner: BJ's Shooting, LLC
Request: Text Amendment to Allow Firearm Sales as a Special Use in the B-2 General Retail Business District.

Background:
 The Petitioner is interested in opening a shooting range with gun sales within the B-2 General Retail Business District. The Zoning Ordinance currently prohibits firearm uses in the B-2 District, and allows firearm uses as special uses in the M-1 and M-2 Districts. Therefore, the Petitioner is requesting a text amendment to allow a firearm use in the B-2 District. The Petitioner has also applied for a special use for a firearm use in a B-2 District. The special use case will immediately follow action taken on this text amendment.

Proposed Revisions to the Zoning Ordinance:

Current Business District Use Table

2. PERMITTED & SPECIAL USES.

Permitted, Special and Prohibited Use Table

P=Permitted Use S=Special Use X=Prohibited Use

| Land Use Types | MD | B-1 | B-2 | B-3 |
|--------------------|----|-----|----------|-----|
| Entertainment Uses | P | P | P | P |
| Firearm Uses | X | X | X | X |

Proposed Business District Use Table

2. PERMITTED & SPECIAL USES.

Permitted, Special and Prohibited Use Table

P=Permitted Use S=Special Use X=Prohibited Use

| Land Use Types | MD | B-1 | B-2 | B-3 |
|--------------------|----|-----|----------|-----|
| Entertainment Uses | P | P | P | P |
| Firearm Uses | X | X | S | X |

Village Staff Concerns:

It is staff's opinion that the Zoning Ordinance addresses firearm uses appropriately in its current form. Manufacturing Districts are generally located farther from residential land uses and is more conducive to the potential nuisances than may occur as a result of discharging firearms. Most large unit Business District sites include multiple tenants located within larger buildings in an inline setting. Because of noise concerns, this use would not be conducive for other tenants. The vast majority of land zoned for business purposes is located in a B-2 District. Therefore, amending the current Ordinance as proposed would allow firearm uses in locations across the entire Village with few restrictions.

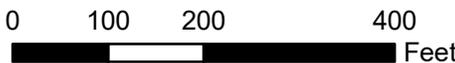
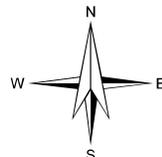
Recommendation:

Staff recommends denial of the text amendment to the Business District Use Table located in Section 9 of the Zoning Ordinance.

2016-023 BJ's Shooting, LLC Location Map



Village of Montgomery
 200 N. River Street
 Montgomery, IL 60538
 630-896-8080



- Legend**
- MD MILL DISTRICT
 - B-1 LOCAL RETAIL BUSINESS DISTRICT
 - B-2 GENERAL RETAIL BUSINESS DISTRICT
 - B-3 GENERAL AUTOMOTIVE AND WHOLESALE BUSINESS DISTRICT
 - FLOOD
 - M-1 LIMITED MANUFACTURING DISTRICT
 - M-2 GENERAL MANUFACTURING DISTRICT
 - R-2 ONE-FAMILY RESIDENCE DISTRICT
 - R-3 TRADITIONAL NEIGHBORHOOD RESIDENCE DISTRICT
 - R-4 TRADITIONAL NEIGHBORHOOD RESIDENCE DISTRICT
 - R-5A TWO-FAMILY RESIDENCE DISTRICT
 - R-5B ATTACHED SINGLE FAMILY RESIDENCE DISTRICT
 - R-6 MULTIPLE FAMILY RESIDENCE DISTRICT

This information is for reference purposes only and the Village of Montgomery is not responsible for its accuracy



PC 2016-023
PLAN COMMISSION ADVISORY REPORT

To: Chair Hammond and Members of the Plan Commission

From: Jerad Chipman, AICP
Senior Planner

Date: August 25, 2016

Subject: Firearm Use Located at 1840 Douglas Road in the Settlers Landing Commercial Subdivision - *Special Use*.

Petitioner: BJ's Shooting, LLC

Location/Address: 1840 Douglas Road

Requests: Special Use for a Firearms Use

Current Zoning: B-2 General Retail Business District

Comprehensive Plan: Regional Commercial

Surrounding Land Uses:

| Location | Adjacent Land Use | Adjacent Zoning |
|-----------------|--------------------------|------------------------|
| North | Commercial | B-2 |
| East | Commercial | B-3 |
| South | Commercial | B-2 |
| West | Commercial | B-2 |

Background:

The Petitioner intends to operate an indoor shooting range with retail firearms sales. The use is proposed to occupy a vacant tenant space in the Settlers Landing Commercial Subdivision between the existing Dollar Tree and Planet Fitness.

Conformance with the Comprehensive Plan:

The Comprehensive Plan discusses buffering of incompatible uses with neighboring commercial properties and residential homes. The proposed use may prove to be incompatible due to the potential for noise nuisances. The Comprehensive Plan addresses the need for the Douglas Road Corridor to diversify and attract customers from the surrounding area, which the proposed use may help to accomplish. Maintenance and modernization of the Douglas Road Corridor is often discussed in the

Comprehensive Plan. Staff has included recommendations in this report as a result of the maintenance recommendations.

Zoning:

The property is zoned B-2 General Retail Business District. Retail sales is a permitted use in the B-2 District. Firearm uses are currently prohibited in the B-2 District pending the result of the Petitioner's request for a text amendment to the Zoning Ordinance to allow firearm uses as a special use.

Bulk Standards:

Front Yard: The existing site maintains a twenty (20) foot setback.

Side Yard: The Petitioner intends to occupy a portion of the existing building located in between two other units. The portion of the building that they intend to occupy is located on a parcel in which both of the side yards encroach into the side yard setbacks. Attempting to rectify this situation would result in less access around the site and limit emergency vehicle access to the rear of the site, therefore, staff is proposing that the current side yard encroachments be maintained.

Rear Yard: The existing building is over ninety (90) feet away from the rear property line complying with the B-3 Districts thirty (30) feet rear yard setback.

Floor Area Ratio: The plans as proposed complies with the Zoning Ordinance.

Maximum Building Height: The current height of the building complies with the Zoning Ordinance.

Parking: Number of Spaces, Handicap Spaces, Drive Aisles & Dimensions:

The current site is required to have one (1) parking space per 200 square foot of unified shopping center space. The Petitioner's space is 32,259 square feet and the entire building space on the parcel is 64,997 square feet. According to the Zoning Ordinance the unified shopping center shall have a total of three hundred twenty-five (325) spaces.

Plans that the Village has on record indicate that there are two hundred thirty-seven (237) parking spaces on the entire parcel, which includes Dollar Tree, the Petitioner's location and Planet Fitness. Nine (9) of those spaces are accessible spaces. The current parcel is deficient by eighty-eight (88) parking spaces, however, the majority of the proposed use would be utilized for shooting lanes that require fewer spaces than a retail use. Due to the fact that the use would require less parking than a typical retail site, staff is recommending that the site be allowed to continue functioning as it currently exists.

Nine (9) accessible parking spaces are located on the parcel. Seven (7) accessible parking spaces are required, resulting in the site complying with the Illinois Accessibility Code. Signage for the accessible spaces shall be updated per the Village's local amendment to the Illinois Accessibility Code.

An adequate loading area exists per the zoning ordinance.

Maintenance of the parking lot shall occur per the Comprehensive Plan's recommendations.

Bicycle parking exists on the site.

Landscaping:

Landscaping exists on the parcel, however, staff recommends replacing any dead material and working with the owner of the property to install additional landscaping along Douglas Road.

Lighting:

The Petitioner does not intend to alter the existing lighting at this time. In the event that the lighting is altered in the future, the alterations would be required to comply with the Zoning Ordinance.

Screening:

The existing tenant space does not contain a garbage enclosure. In the event that the garbage is located outside of the building the garbage receptacle shall be screened appropriately.

Signage:

A complete signage package is required before the issuance of sign permits.

Access:

The site has one (1) primary access point onto Douglas Road and two (2) additional cross access points into the rest of the Settler's Landing Development. Therefore, adequate access to the site has been provided.

Special Use:

The Petitioner is requesting a special use for a firearm use. The Commission should consider whether the use is in keeping with the vision of the area and whether its impacts can be properly mitigated. According to the Montgomery Zoning Ordinance, whose language hereafter is in italics, "*no special use shall be recommended by the Plan Commission unless the Commission shall find that the following standards have been satisfied:*

Staff has provided findings of fact following the standards for the Plan Commissioner's consideration.

A. *That the establishment, maintenance or operation of the special use will not be detrimental to endanger the public health, safety, comfort or general welfare;*

This use has the potential to be detrimental to the comfort and general welfare of the Village due to the potential noise nuisances;

B. *That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purpose already permitted, not substantially diminish or impair property values within the neighborhood;*

This use may be injurious the neighboring tenants and property owners especially due to the fact that the use is proposed to be located between two existing businesses. If the use occupied a single tenant building it may be less injurious to its neighbors;

C. *That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district;*

The proposed use does not prohibit use of surrounding property and is normal and orderly;

D. *That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided;*

Adequate utilities, roads and drainage have been planned for;

E. *That adequate measures have been, or will be, taken to provide ingress and egress so designed as to minimize traffic congestion in public streets;*

The property provides adequate ingress and egress; *and*

F. *That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board pursuant to the recommendations of the Plan Commission.*

All aspects of the proposed development that have been submitted to this point that do not meet the Zoning Ordinance have been discussed in the above report and recommendations have been made accordingly.

The Plan Commission should discuss each of these criteria and make findings of fact as to whether the proposed use meets the criteria. If the Commission finds that the use should be permitted, they may impose additional conditions in order to mitigate any impacts of the proposed use.

Recommendation:

Staff is recommending denial of the special use for a firearm at the proposed location of 1840 Douglas Road by BJ's Shooting, LLC.

August 10, 2016

Village of Montgomery
200 N. River Street
Montgomery, IL 60538
ATTN: Jerad Chipman, Planner

Dear Mr. Chipman,

Please accept this as the Statement of Intent by BJ's Shooting, LLC to request a text amendment and special use permit in regards to the property located at 1840 Douglas Road, Unit A in the Settler's Landing Development.

BJ's Shooting, LLC is proposing to use the above stated property for a pistol and rifle range, gun rentals and retail sales. We request the current B2 General Retail zoning be amended to allow for this stated purpose.

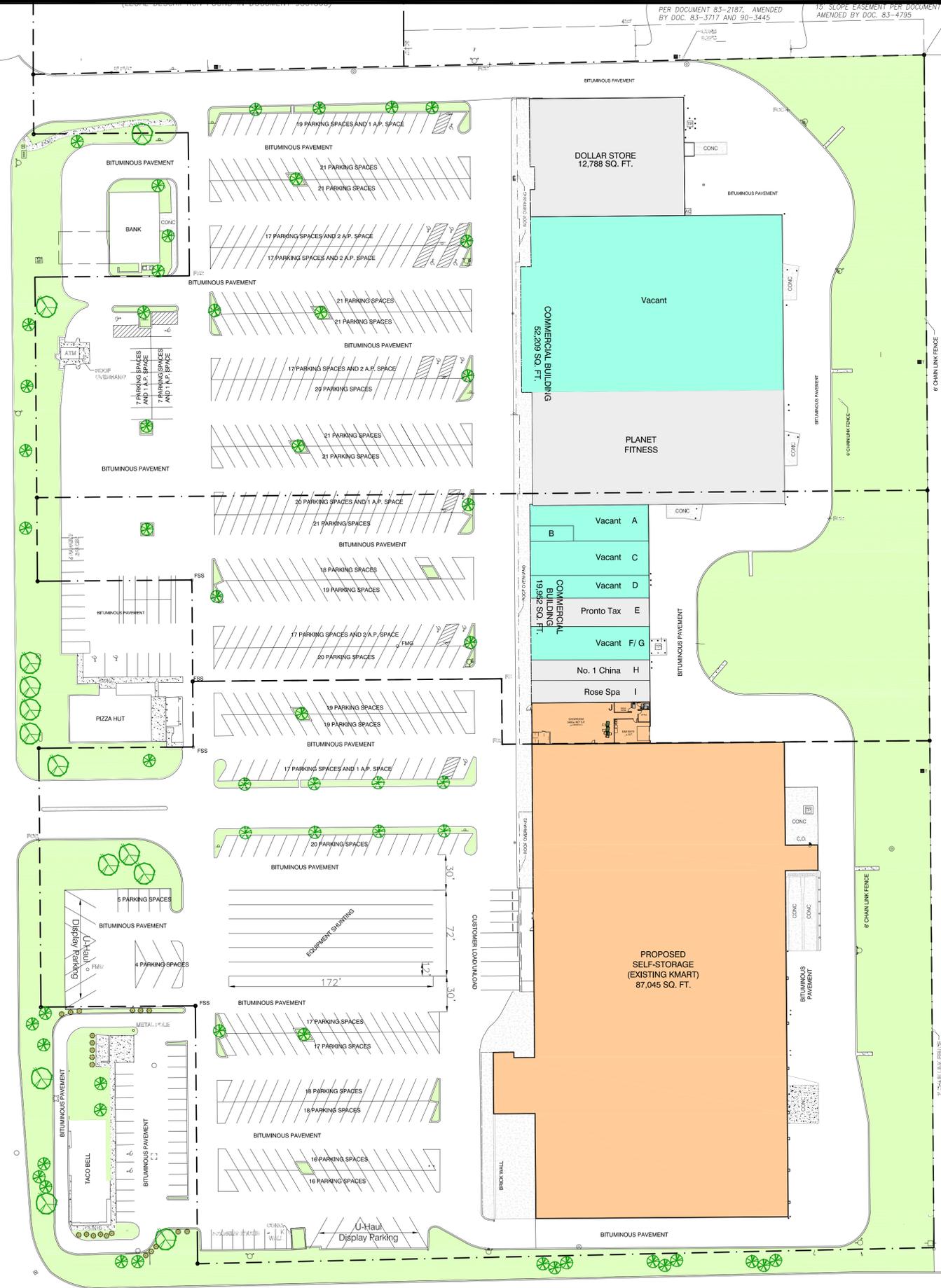
Please contact Bhairvi Brown, Owner, with any questions or for additional information.

Sincerely,

Bhairvi Brown
Owner
BJ's Shooting, LLC
630-849-1560



DOUGLAS ROAD
SHEET DOCUMENT 83-4118



U.S. ROUTE 30

FARM & FLEET SUBDIVISION
PER DOCUMENT 9811051

SCALE: 1"=50'



GENERAL NOTES:

REVISIONS:

| NO. | DATE | INITIALS | NOTES |
|-----|------|----------|-------|
| 1 | | | |
| 2 | | | |
| 3 | | | |
| 4 | | | |
| 5 | | | |
| 6 | | | |
| 7 | | | |
| 8 | | | |

PROFESSIONAL SEAL:

PRELIMINARY DOCUMENTS;
NOT FOR CONSTRUCTION;
FOR INFORMATION ONLY

ARCHITECT LOGO:

AMERCO
REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: (602) 263-6502

SITE ADDRESS:

1800 DOUGLAS RD
MONTGOMERY, IL 60538

SHEET CONTENTS:

CONCEPTUAL LAYOUT

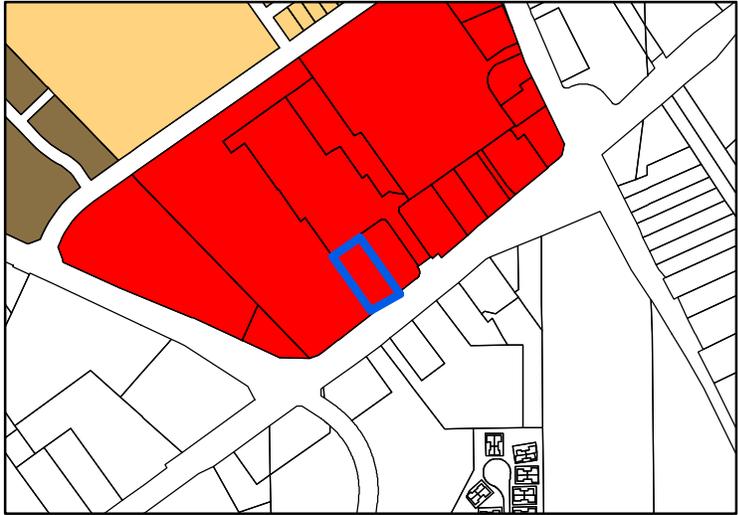
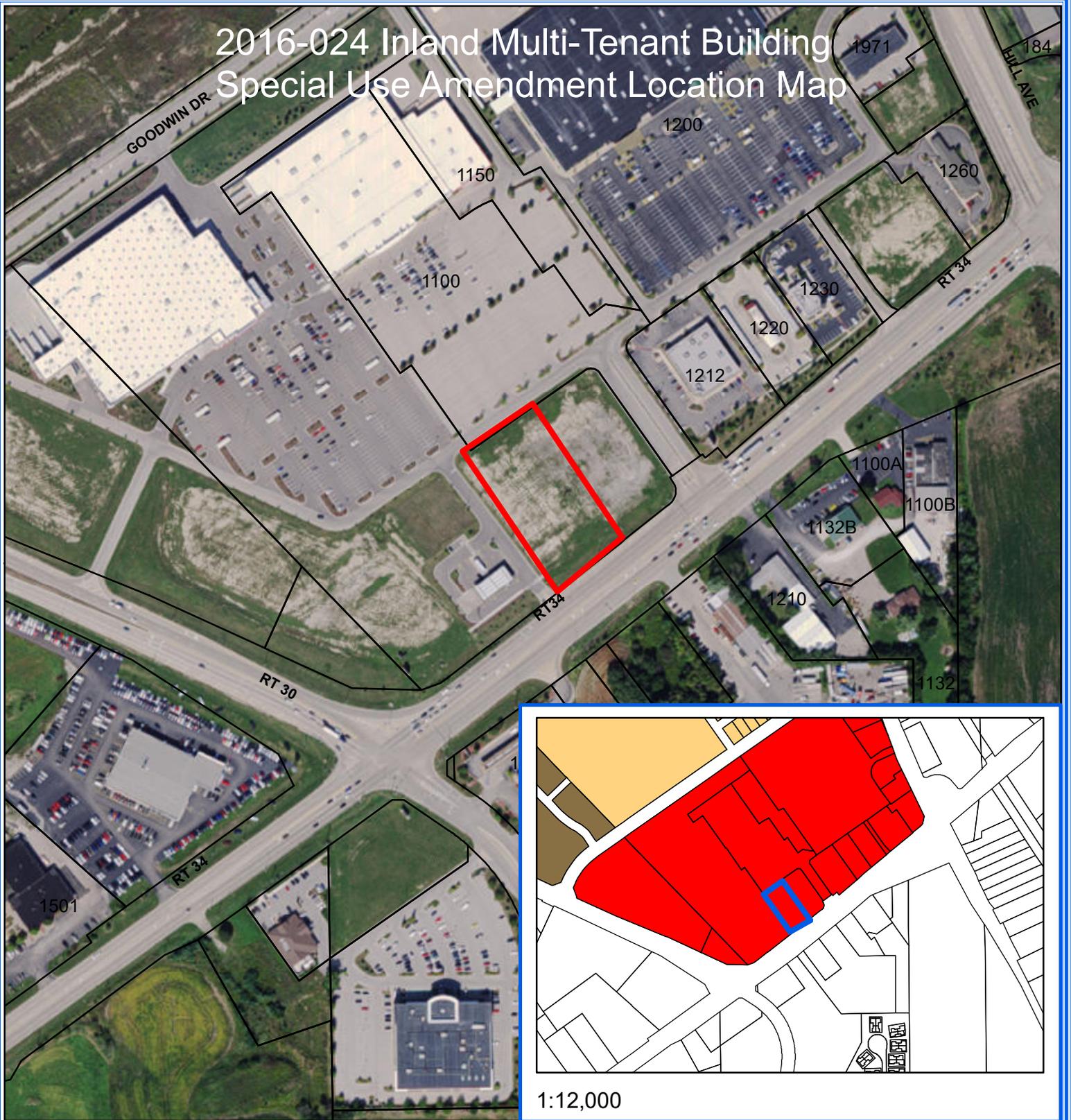
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| DRAWN: | HRR |
| CHECKED: | RL |
| DATE: | 09/16/15 |

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© 2015 AMERCO REAL ESTATE COMPANY

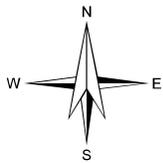
2016-024 Inland Multi-Tenant Building Special Use Amendment Location Map



1:12,000



Village of Montgomery
200 N. River Street
Montgomery, IL 60538
630-896-8080



Legend

- MD MILL DISTRICT
- B-1 LOCAL RETAIL BUSINESS DISTRICT
- B-2 GENERAL RETAIL BUSINESS DISTRICT
- B-3 GENERAL AUTOMOTIVE AND WHOLESALE BUSINESS DISTRICT
- FLOOD
- M-1 LIMITED MANUFACTURING DISTRICT
- M-2 GENERAL MANUFACTURING DISTRICT
- R-2 ONE-FAMILY RESIDENCE DISTRICT
- R-3 TRADITIONAL NEIGHBORHOOD RESIDENCE DISTRICT
- R-4 TRADITIONAL NEIGHBORHOOD RESIDENCE DISTRICT
- R-5A TWO-FAMILY RESIDENCE DISTRICT
- R-5B ATTACHED SINGLE FAMILY RESIDENCE DISTRICT
- R-6 MULTIPLE FAMILY RESIDENCE DISTRICT

This information is for reference purposes only and the Village of Montgomery is not responsible for its accuracy.

August 25, 2016



PC 2016-024
PLAN COMMISSION ADVISORY REPORT

To: Chair Hammond and Members of the Plan Commission

From: Jerad Chipman, AICP
Senior Planner

Date: August 25, 2016

Subject: Additional Drive-Through and Outdoor Café for the Multi-Tenant Building Located in the Ogden Hill Commercial Subdivision - *Special Use*.

Petitioner: Inland National Development Corporation

Location/Address: Within the Ogden Hill Commercial Subdivision

Requests: Amendment to the Special Use for an Additional Drive-Through and Outdoor Café.

Current Zoning: B-2 General Retail Business District

Comprehensive Plan: Regional Commercial

Surrounding Land Uses:

| Location | Adjacent Land Use | Adjacent Zoning |
|----------|-------------------|-----------------|
| North | Commercial | B-2 |
| East | Commercial | B-2 and Oswego |
| South | Commercial | B-2 and Oswego |
| West | Commercial | B-2 |

Background:
The Petitioner is requesting entitlements for a second drive-through and outdoor café. The Petitioner was granted approval of a single drive-through and outdoor café last year and has revised the plan to include a second drive-through and outdoor café. The building has been increased in size to accommodate the tenant that requested the second drive-through. Attached is a revised site plan demonstrating the proposed drive-through addition.

Conformance with the Comprehensive Plan:
The proposed land use conforms to the Comprehensive Plan as it indicates that the location be utilized as Regional Commercial.

Zoning:

The property is zoned B-2 General Retail Business District. A drive-through is a special use in the B-2 District. An outdoor café is a special use in the B-2 District. A retail use is permitted in the B-2 District. The Petitioner is applying for a second drive-through and outdoor café entitlement, which are the appropriate special uses in order to fully comply with the Zoning Ordinance.

Bulk Standards:

Front Yard: The front yard complies with the required ten foot (10') building setback, and the thirty foot (30') landscape setback required when fronting U.S. Route 34.

Side Yard: All side yards comply with the side yard setbacks. The setbacks are ten (10) feet for the corner side yard located to the southwest and five feet (5') for the interior side yard located to the northeast.

Rear Yard: The proposed development complies with the rear yard setback. The setback is twenty (20) feet, however, accessory structures and parking spaces are allowed to encroach ten (10) feet into the setback.

Floor Area Ratio (FAR): The plans as proposed comply with the Village's standard, which is a maximum of 1.5 FAR.

Maximum Building Height: The building complies with the maximum building height of forty-five (45) feet.

Parking: Number of Spaces, Handicap Spaces, Drive Aisles & Dimensions:

The building as proposed is required to have one (1) parking space per 300 square foot of office space, one (1) parking space per 200 square foot of retail space and one (1) parking space per 100 square foot of food sales space.

The plan indicates that there are fifty-five (55) spaces on the site. The proposed parking plan is deficient due to the increased building size. Fifty-eight (58) spaces are required per the Zoning Ordinance. Due to the availability of parking located throughout the commercial subdivision, staff recommends approval of the proposed plan.

Three (3) accessible spaces are indicated on the plans complying with the Illinois Accessibility Code.

All two-way drive aisles are required to be twenty-four (24) feet wide. The proposed drive-aisle on the northeast side of the building is indicated to be twenty (20) feet wide, which is below the minimum size for a two-way drive aisle. The drive aisle shall either be indicated as a one-way aisle or widened by four (4) feet.

The Zoning Ordinance requires six (6) stacking spaces per drive-through. Stacking for the additional drive through is limited. Staff recommends that a sign be added in the southern parking lot landscape island directing patrons to the right, which would lead them around the primary drive aisle and parking spaces to an area in line with the new drive through queuing aisle.

The proposed plan complies with the Zoning Ordinance requirement that the minimum size of a parking space is nine feet (9') wide and eighteen and one half feet (18.5') deep.

The site plan shows an adequate loading area per the zoning ordinance.

The Zoning Ordinance requires five (5) bicycle parking spaces. Bicycle parking spaces and a detail of the parking apparatus has been indicated on the plan and complies with the Zoning Ordinance.

Landscaping:

A revised landscape plan has been submitted, and has been approved by Planning Resources, Inc.

Engineering:

A revised engineering plan has been submitted, and Engineering Enterprises, Incorporated's review letter is attached to this report.

Architecture:

The proposed building is a masonry structure containing vertical and horizontal elements that break up the façade. The building also includes decorative awnings and architectural lighting. The Village has been promoting the use of masonry and other preferred building materials and is believes that this building will complement the other masonry structures fronting Ogden Avenue.

Lighting:

A photometric plan has been submitted. Details of the light fixtures and an indication of the height of the fixtures is required.

Screening:

The plans indicate a garbage enclosure located north of the building. A detail of the enclosure has been provided on the plans and the detail complies with the Zoning Ordinance.

All mechanical units shall be screened in accordance with the Zoning Ordinance.

Signage:

A complete signage package is required before the issuance of sign permits.

Access:

Three (3) access points have been provided into the site with two (2) cross access points stubbed into the adjacent site for future connectivity. Staff recommends extending those stubs to the property line, rather than stopping short as currently indicated.

Special Use:

The Petitioner is requesting a special use for an additional drive-through and outdoor café. The Commission should consider whether the use is in keeping with the vision of the area and whether its impacts can be properly mitigated. According to the Montgomery Zoning Ordinance, whose language hereafter is in italics, *"no special use shall be recommended by the Plan Commission unless the Commission shall find that the following standards have been satisfied:*

Staff has provided findings of fact following the standards for the Plan Commissioner's consideration.

A. *That the establishment, maintenance or operation of the special use will not be detrimental to endanger the public health, safety, comfort or general welfare;*

This use should not endanger the public health, safety, comfort or general welfare;

B. *That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purpose already permitted, not substantially diminish or impair property values within the neighborhood;*

This use should not be injurious or diminish property values;

C. *That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district;*

The proposed use does not prohibit use of surrounding property and is normal and orderly;

D. *That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided;*

Adequate utilities, roads and drainage have been planned for;

E. *That adequate measures have been, or will be, taken to provide ingress and egress so designed as to minimize traffic congestion in public streets;*

The property provides adequate ingress and egress; and

F. *That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board pursuant to the recommendations of the Plan Commission.*

All aspects of the proposed development that have been submitted to this point that do not meet the Zoning Ordinance have been discussed in the above report and recommendations have been made accordingly.

The Plan Commission should discuss each of these criteria and make findings of fact as to whether the proposed use meets the criteria. If the Commission finds that the use should be permitted, they may impose additional conditions in order to mitigate any impacts of the proposed use.

Recommendation:

Staff is recommending approval of the special use for a second drive-through and outdoor café at the proposed multi-tenant building pending the plan revisions addressing the issues raised in the engineering and staff reports.



August 25, 2016

Mr. Jerad Chipman
Senior Planner
Village of Montgomery
200 N. River Street
Montgomery, IL 60538

**Re: Ogden Hill East Multi-Tenant Building – Final Engineering Plans
4th Submittal
Montgomery, Illinois**

Dear Mr. Chipman,

We have reviewed the engineering plans (19 sheets), revised dated August 17, 2016 and supporting documents for the above referenced site.

Our review of these plans is to generally determine the plan's compliance with Village ordinances and whether the improvements will conform to existing Village systems and equipment. This review and our comments do not relieve the designer from his duties to conform to all required codes, regulations, and acceptable standards of engineering practice. Engineering Enterprises, Inc.'s review is not intended as an in-depth quality assurance review, we cannot and do not assume responsibility for design errors or omissions in the plans. We offer the following comments:

General

1. The revised Stormwater Permit Application and Report is in general conformance with Village requirements and we support issuance of the stormwater permit by the Village.
2. Details and specifications need to be provided for the parking lot lights (base, pole, luminaire, etc.). The lighting plan should also include wiring locations, if the wiring location is not available at this time it can be submitted prior to construction and on the As-Builts. The Engineer had previously noted that this will be submitted as a separate document by the lighting consultant.
3. A Permit from Fox Metro will be required for the sanitary sewer connection. The Village should be copied on correspondence with Fox Metro.

4. The Engineer's Opinion of Probable Construction Cost for stormwater and erosion control costs provided in the stormwater report is acceptable. A cost estimate for other public improvements (water and sewer connections) and landscaping improvements should be provided. A bond for 110% of these items will have to be provided to the Village before the start of construction.
5. A Preconstruction Meeting with the Village will be required before the start of site construction.

Final Engineering Plans

6. The 20-foot drive aisle on the east side of the building next to the new drive through lane needs to be changed to a one-way drive since it does not meet the required 24-foot width for a two-way drive aisle. In addition, the appropriate striping and signage should be added to the plan.

The above items should be addressed and the engineering plans re-submitted for approval. If you have any questions or need additional information, please contact our office.

Respectfully Submitted

ENGINEERING ENTERPRISES, INC.



Timothy N. Paulson, P.E.
Project Manager

TNP/TAM

Pc: PGW, EEI

SITE IMPROVEMENT PLANS FOR

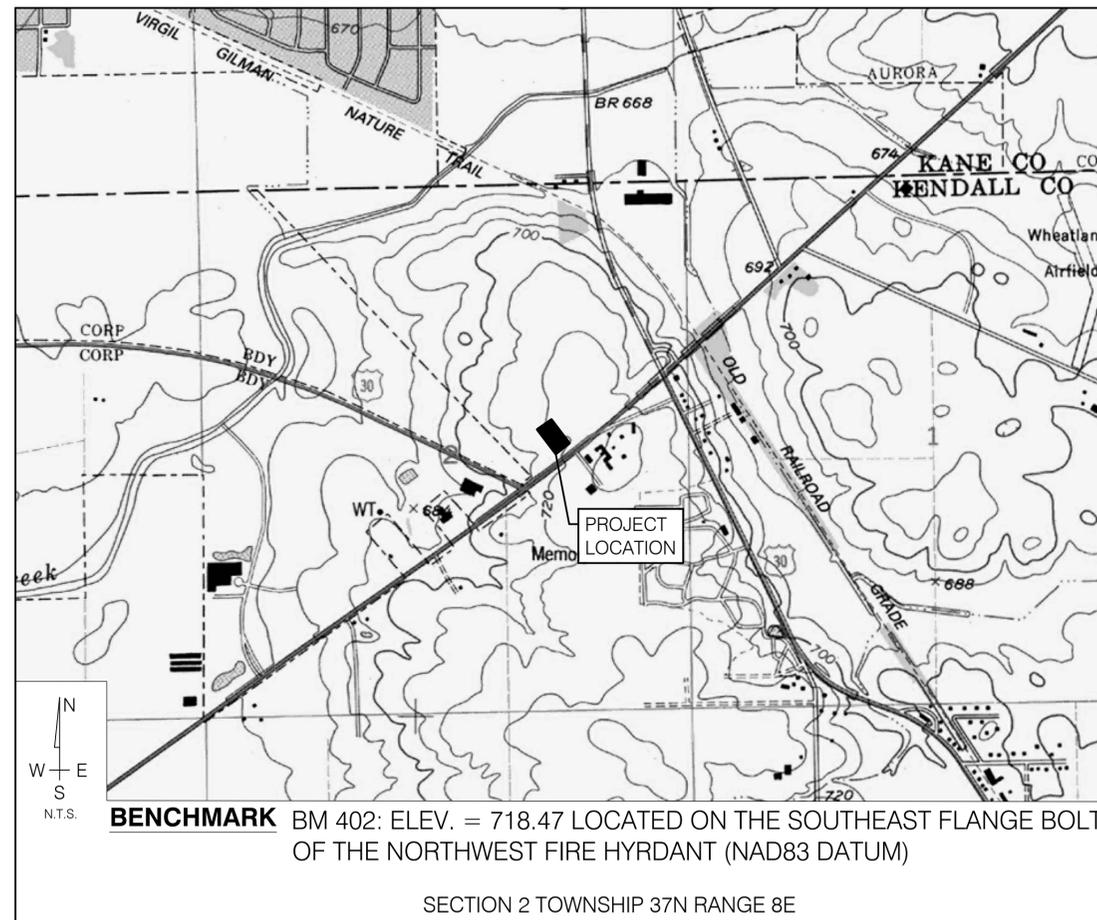
OGDEN HILL EAST

MULTI-TENANT BUILDING

MONTGOMERY, ILLINOIS

WBK PROJECT NO. 130266A

LOCATION MAP



PLAN LEGEND

| EXISTING | LINETYPES | PROPOSED |
|----------|-----------------------------------|----------|
| | DRAIN TILE | |
| | STORM SEWER | |
| | SANITARY SEWER | |
| | WATER MAIN (W/ SIZE) | |
| | PIPE TRENCH BACKFILL | |
| | GAS MAIN | |
| | TELEPHONE LINES | |
| | ELECTRIC LINE | |
| | FENCE | |
| | RIGHT-OF-WAY | |
| | EASEMENT | |
| | PROPERTY LINE | |
| | SETBACK LINE | |
| | CENTERLINE | |
| | CONTOUR | |
| | GUARDRAIL | |
| | SANITARY MANHOLE | |
| | STORM MANHOLE | |
| | CATCH BASIN | |
| | INLET | |
| | SUMP STRUCTURE | |
| | FIRE HYDRANT | |
| | PRESSURE CONNECTION | |
| | VALVE & VAULT, VALVE | |
| | FLARED END SECTION | |
| | STREET LIGHT | |
| | UTILITY POLE | |
| | CONTROL POINT | |
| | SIGN | |
| | SPOT ELEVATION | |
| | OVERLAND FLOW ROUTE | |
| | DRAINAGE SLOPE | |
| | TREE, EVERGREEN, SHRUB & PROPOSED | |
| | TREE TO REMOVE | |

PERMITS

| AGENCY | DATE | PERMIT # |
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SHEET INDEX

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| 1 | CV | COVER PAGE |
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| 7 | GM1 | GEOMETRIC PLAN |
| 8 | SS1 | SIGNAGE & STRIPING |
| 9 | GR1 | GRADING PLAN |
| 10 | UT1 | UTILITY PLAN |
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REVISIONS

ORIGINAL PLAN DATE: 06/24/2015

| # | DATE | DESCRIPTION |
|---|----------|----------------------------|
| 1 | 06/02/15 | PER VILLAGE REVIEW |
| 2 | 07/31/15 | PER VILLAGE REVIEW |
| 3 | 09/14/15 | PER VILLAGE REVIEW |
| 4 | 08/17/16 | ADDED OF SECOND DRIVE-THRU |
| | | |
| | | |

CLIENT

INLAND NATIONAL DEVELOPMENT CORPORATION
2901 BUTTERFIELD ROAD
OAK BROOK, IL 60523

CIVIL ENGINEER



WBK ENGINEERING, LLC

116 WEST MAIN STREET, SUITE 201, ST. CHARLES, ILLINOIS 60174
P: 630.443.7755 F: 630.443.0533 WWW.WBKENGINEERING.COM

PROFESSIONAL DESIGN FIRM NO. 184.007317
EXPIRATION DATE: 04/30/2017



CALL J.U.L.I.E. 1-800-892-0123
48 HOURS BEFORE YOU DIG
CITY OF GENEVA, KANE COUNTY
SE 1/4 SECTION 34, T40N, R8E

GENERAL NOTES

1. REFERENCED SPECIFICATIONS AND CODES

- A. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (SSRBC), ADOPTED APRIL 1, 2016 AND SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS, ADOPTED APRIL 1, 2016 BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION, AND ALL AMENDMENTS THERETO. THE DESIGN MANUAL, HIGHWAY STANDARDS, AND THE CULVERT MANUAL, ALSO PREPARED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION.
B. THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS, 2014, 7TH/ EDITION, EXCEPT AS MODIFIED HEREIN OR BY ANY PUBLIC AGENCY PERMITS ISSUED FOR THIS WORK.
C. ILLINOIS DESIGN STANDARDS FOR SEWAGE WORKS, LATEST VERSIONS.
D. TECHNICAL POLICY STATEMENTS OF THE IEPA, DIVISION OF PUBLIC WATER SUPPLIES AND DIVISION OF WATER POLLUTION CONTROL, LATEST VERSIONS.
E. TECHNICAL STANDARDS FOR WATER WORKS, BY THE GREAT LAKES UPPER MISSISSIPPI RIVER BOARD OF STATE SANITARY ENGINEERS ("10 STATES STANDARDS"), LATEST VERSIONS.
F. MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST VERSION.
G. THE AMERICANS WITH DISABILITIES ACT, THE ILLINOIS ACCESSIBILITY CODE AND THE FAIR HOUSING ACT, LATEST VERSIONS.
H. THE ILLINOIS PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL, AND IEPA STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL, LATEST VERSIONS.
I. U.S. SOIL CONSERVATION SERVICE FIELD ENGINEERING HANDBOOK, LATEST VERSION.
J. ALL CODES AND ORDINANCES OF KENDALL COUNTY AND THE VILLAGE OF MONTGOMERY.
K. ALL REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
L. THE CITED STANDARD SPECIFICATIONS, CODES AND PERMITS, WITH THESE CONSTRUCTION PLANS AND DETAILS, ARE ALL TO BE CONSIDERED PART OF THE WORK. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE CONSIDERED A PART OF THESE IMPROVEMENTS.
M. VILLAGE OF MONTGOMERY ENGINEERING DESIGN AND INSPECTION POLICY MANUAL, LATEST VERSION.
N. IN CASE OF CONFLICT, THE MORE RESTRICTIVE PROVISION SHALL APPLY.

2. UTILITY LOCATIONS

- A. TO THE BEST OF OUR KNOWLEDGE, EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS.
B. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM OR ESTABLISH THE EXISTENCE OF ALL EXISTING UTILITY FACILITIES AND THEIR EXACT LOCATIONS, AND TO SAFELY SCHEDULE ALL UTILITY RELOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLAN. THE CONTRACTOR SHALL CALL J.U.L.I.E. AT 800-892-0123 AND THE AGENCY HAVING JURISDICTION OVER LOCAL WATER, SEWER AND ELECTRICAL SYSTEMS, FOR UTILITY LOCATIONS. FOR ADDITIONAL INFORMATION, THE AGENCIES LISTED ON THIS SHEET MAY BE CONTACTED.
C. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.

3. UTILITY COORDINATION

- A. OWNER SHALL OBTAIN EASEMENTS AND PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS.
B. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE NATURE AND STATUS OF ALL UTILITY RELOCATION WORK PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ENSURE THAT CONSTRUCTION OPERATIONS DO NOT INTERFERE WITH UTILITY FACILITIES AND RELOCATION WORK. THE SCHEDULE SHOULD REFLECT CONSTRUCTION SEQUENCING WHICH COORDINATES WITH ALL UTILITY RELOCATION WORK. THE CONTRACTOR SHALL BE REQUIRED TO ADJUST THE ORDER OF WORK FROM TIME TO TIME, TO COORDINATE SAME WITH UTILITY RELOCATION WORK, AND SHALL PREPARE REVISED SCHEDULE(S) IN COMPLIANCE THEREWITH AS DIRECTED BY THE OWNER.
C. THE OWNER, ENGINEER, ALL GOVERNING AGENCIES AND UTILITY COMPANIES SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY OPERATION REQUIRING COOPERATION WITH OTHERS.

4. COMMENCING CONSTRUCTION

- A. PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE ENGINEER'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO ENGINEER BEFORE DOING ANY WORK, OTHERWISE THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
B. THE CONTRACTOR SHALL NOTIFY AS NECESSARY, ALL TESTING AGENCIES AS CONTRACTED BY THE COUNTY, TOWNSHIP OR OWNER, SUFFICIENTLY IN ADVANCE OF CONSTRUCTION. ALL MATERIAL TESTING SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR. ALL TESTING AGENCIES SHALL MEET THE APPROVAL OF THE OWNER. FAILURE OF CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN TESTING AGENCIES BEING UNABLE TO VISIT SITE WILL RESULT IN THE CONTRACTOR SUSPENDING OPERATIONS (PERTAINING TO TESTING) UNTIL TESTING OPERATIONS CAN BE COMPLETED. COST OF SUSPENSION OF WORK TO BE BORNE BY CONTRACTOR.
C. THE CONTRACTOR SHALL MAINTAIN PEDESTRIAN AND VEHICULAR ACCESS AT ALL TIMES. AT NO TIME SHALL ACCESS BE DENIED TO PROPERTIES SURROUNDING THE SITE.
D. THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE DEVELOPER'S ENGINEER AT CONTRACTOR'S COST.
E. ANY EXISTING SIGNS, LIGHT STANDARDS AND UTILITY POLES WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND NOT NOTED FOR DISPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR AT HIS OWN EXPENSE AS SHOWN ON THE ENGINEERING PLANS OR AS DIRECTED BY THE DEVELOPER. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET, SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.
F. ITEMS SPECIFIED FOR REMOVAL, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURB AND GUTTER, CULVERTS, ETC. SHALL BE LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE. THE CONTRACTOR IS RESPONSIBLE FOR ANY PERMIT REQUIRED FOR SUCH DISPOSAL.
G. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB.
H. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEAN-UP AS DIRECTED BY THE ENGINEER OR OWNER.
I. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT UNLESS SPECIFICALLY NOTED ON THE PLANS.

5. GENERAL EXCAVATION/UTILITY NOTES

- A. COST FOR SHORING AND BRACING, SHEET PILING, UPRIGHTS, STRINGERS, CROSS BRACES, ETC. SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE WORK. NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
B. THE CONTRACTOR SHALL: PREVENT SURFACE WATER AND SUBSURFACE OR GROUNDWATER FROM FLOWING INTO EXCAVATIONS; REMOVE WATER TO PREVENT SOFTENING OF FOUNDATION BOTTOMS, UNDERCUTTING FOOTINGS, AND SOIL CHANGES DETRIMENTAL TO STABILITY OF SUBGRADES AND FOUNDATIONS; PROVIDE AND MAINTAIN PUMPS, SUMPS, SUCTION AND DISCHARGE LINES AND OTHER DEWATERING SYSTEM COMPONENTS NECESSARY TO CONVEY WATER AWAY FROM EXCAVATIONS; CONVEY WATER REMOVED FROM EXCAVATIONS AND RAINWATER TO COLLECTING OR RUN-OFF AREAS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION; PROVIDE AND MAINTAIN TEMPORARY DRAINAGE DITCHES AND OTHER DIVERSIONS OUTSIDE EXCAVATION LIMITS FOR EACH STRUCTURE. THE CONTRACTOR SHALL NOT USE TRENCH EXCAVATIONS AS TEMPORARY DRAINAGE DITCHES.
C. IMMEDIATELY REPORT CONDITIONS THAT MAY CAUSE UNSOUND BEARING TO THE OWNER OR OWNER'S AGENT.
D. UNDERGROUND WORK SHALL INCLUDE TRENCHING, INSTALLATION OF PIPE, CASTINGS, STRUCTURES, BACKFILLING OF TRENCHES AND COMPACTION AND TESTING AS SHOWN ON THE CONSTRUCTION PLANS. FITTINGS AND ACCESSORIES NECESSARY TO COMPLETE THE WORK MAY NOT BE SPECIFIED, BUT SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE IMPROVEMENTS.
E. EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE, WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER. DRAINAGE STRUCTURES AND SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS EXPENSE. NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
F. IN THE EVENT THAT SOFT MATERIALS ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S AGENT IMMEDIATELY.
G. TRENCH BACKFILL WILL BE REQUIRED FOR THE FULL TRENCH DEPTH WITHIN TWO (2) FEET OF PROPOSED OR EXISTING PAVEMENTS, UTILITIES, DRIVEWAYS, AND SIDEWALKS. THE TRENCH BACKFILL SHALL CONSIST OF GRANULAR MATERIAL MEETING SSRBC CA-7 GRADATION, UNLESS NOTED OTHERWISE. THE TRENCH BACKFILL SHALL BE COMPACTED IN ACCORDANCE WITH SSRBC SPECIFICATIONS. JETTING WITH WATER SHALL NOT BE PERMITTED.
H. THE CONTRACTOR SHALL INSTALL A 4" X 4" X 8' (NOMINAL) POST AT THE TERMINUS OF THE SANITARY AND WATER SERVICE, SANITARY AND STORM MANHOLES, CATCH BASINS, INLETS AND WATER VAULTS. THE POST SHALL EXTEND 4' ABOVE THE GROUND. THE TOP 12" OF THE POST SHALL BE PAINTED AS FOLLOWS: SANITARY - RED, WATERMAIN - BLUE, STORM - GREEN.
I. ALL TOP OF FRAMES FOR STORM AND SANITARY SEWERS AND VALVE VAULT COVERS ARE TO BE ADJUSTED TO MEET FINAL FINISHED GRADE. THIS ADJUSTMENT IS TO BE MADE BY THE SEWER AND WATER CONTRACTOR AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVIATE THE CONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE VILLAGE OF MONTGOMERY UPON FINAL INSPECTION OF THE PROJECT.
J. THE CONTRACTOR SHALL VERIFY THE SIZE AND INVERT ELEVATION OF ALL CONNECTIONS TO AVOID ANY CONFLICTS BEFORE STARTING WORK. NOTIFY OWNER OF ANY DISCREPANCIES.
K. NO UNDERGROUND WORK SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE AGENCY HAVING JURISDICTION. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE COUNTY AND TOWNSHIP PRIOR TO INSTALLING PAVEMENT BASE, BINDER, SURFACE, AND PRIOR TO PLACING ANY CONCRETE AFTER FORMS HAVE BEEN SET.
L. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.

6. INDEMNIFICATION

- A. HOLD HARMLESS: THE CONTRACTOR, AS A CONDITION OF THE CONTRACT, HEREBY AGREES TO ASSUME THE ENTIRE RESPONSIBILITY AND LIABILITY FOR, AND DEFENSE OF, AND TO PAY AND INDEMNIFY AND HOLD THE OWNER, THE ENGINEER, THE VILLAGE, THEIR ENGINEERS, AGENTS AND EMPLOYEES HARMLESS FROM ALL CLAIMS FOR DAMAGES OR INJURY (OR DEATH RESULTING THEREFROM) TO ANY AND ALL PERSONS, INCLUDING EMPLOYEES OR AGENTS OR ANY PERSON OR FIRM WHO ENGAGES IN WORK UPON THE PROJECT, ARISING OUT OF THE CONDUCT OF THE CONTRACTOR ARISING OUT OF THE PERFORMANCE OF THIS AGREEMENT OR ANY WORK RELEVANT THERETO, OR ARISING OUT OF ANY FEDERAL, STATE OR LOCAL STATUTE, RULE, REGULATION OR ORDINANCE, INCLUDING BUT NOT LIMITED TO THE PROVISIONS OF THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS ACT (OSHA).
B. ALL COSTS, FEES AND EXPENSES, INCLUDING, BY WAY OF EXAMPLE AND WITHOUT LIMITATION, REASONABLE ATTORNEY'S FEES, COURT COSTS, COURT REPORTER'S FEES, TRANSCRIPT COSTS, SUBPOENA FEES AND COSTS, WITNESS FEES, SERVICE COSTS, AND DOCUMENT REPRODUCTION COSTS INCURRED BY THE COUNTY AS A RESULT OF ANY CLAIMS FOR DAMAGE OR INJURY AS ENUMERATED ABOVE SHALL BE PAID BY THE CONTRACTOR.
C. THE CONTRACTOR(S) SHALL NAME WBK ENGINEERING, LLC., VILLAGE OF MONTGOMERY AND CONSULTANT DOING CONSTRUCTION OBSERVATION FOR THE VILLAGE AS ADDITIONAL NAMED INSUREDS ON ALL LIABILITY INSURANCE POLICIES AND SHALL PROVIDE THE VILLAGE AND WBK WITH CERTIFICATES OF INSURANCE PRIOR TO COMMENCEMENT OF ANY WORK.

EARTHWORK NOTES

1. GENERAL

- A. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS AT THE SITE.
B. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION, AND PREVENT STORMWATER FROM RUNNING OFFSITE AND INTO OR STANDING IN EXCAVATED AREAS.
C. SITE DEWATERING IS NOT EXPECTED BASED ON SOIL BORING REPORT COMPLETED BY TESTING SERVICE CORPORATION DATED JULY 14, 2006. IF SITE DEWATERING IS REQUIRED PLANS SHALL BE SUBMITTED AND APPROVED BY THE ENGINEER PRIOR TO IMPLEMENTATION. NO ADDITIONAL COMPENSATION SHALL BE MADE FOR DEWATERING DURING CONSTRUCTION.
D. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE "SOIL EROSION AND SEDIMENTATION CONTROL MEASURES". THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF EROSION CONTROL BARRIER FENCING, ETC. TO PROTECT ADJACENT PROPERTY, WETLANDS, ETC. SHALL OCCUR PRIOR TO ANY CONSTRUCTION ACTIVITIES.
E. PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES, THE CONTRACTOR SHALL ERECT A "SNOW FENCE" AROUND ANY TREE DESIGNATED TO BE PRESERVED. SAID FENCE SHALL BE PLACED IN A CIRCLE CENTERED AROUND THE TREE, THE DIAMETER OF WHICH SHALL BE SUCH THAT THE ENTIRE DRIP ZONE (EXTENT OF FURTHEST EXTENDING BRANCHES) SHALL BE WITHIN THE FENCE LIMITS. THE EXISTING GRADE WITHIN THE FENCED AREA SHALL NOT BE DISTURBED.
F. EXCESS MATERIALS, IF NOT UTILIZED AS FILL SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND PROPERLY DISPOSED OF OFF-SITE BY THE CONTRACTOR AT A PREVIOUSLY APPROVED SITE.
G. GEOTEXTILE FABRIC, IF AUTHORIZED BY THE OWNER, SHALL BE "MIRAFI 160" OR EQUAL, AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

2. TOPSOIL EXCAVATION INCLUDES:

- A. EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS WITHIN THOSE AREAS THAT WILL REQUIRE EARTH EXCAVATION OR COMPACTED EARTH FILL MATERIAL. EXISTING VEGETATION SHALL BE REMOVED PRIOR TO STRIPPING TOPSOIL OR FILLING AREAS.
B. PLACEMENT OF THE EXCAVATED MATERIAL IN OWNER DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED, AND THOSE AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL. PROVIDE NECESSARY AND APPROPRIATE EROSION CONTROL MEASURES FOR STOCKPILE.
C. TOPSOIL STOCKPILED FOR RESPREAD SHALL BE FREE OF CLAY AND SHALL NOT CONTAIN ANY OF THE TRANSITIONAL MATERIAL BETWEEN THE TOPSOIL AND CLAY. THE TRANSITIONAL MATERIAL SHALL BE USED IN NON-STRUCTURAL FILL AREAS OR PROPERLY DISPOSED OF OFF-SITE.
D. FURNISH AND PLACE TOPSOIL SHALL INCLUDE HAULING AND SPREADING 6" OF APPROVED TOPSOIL OVER AREAS TO BE LANDSCAPED WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER.
E. NON-STRUCTURAL FILL AREAS SHALL BE COMPACTED AS PER (SSRBC) ARTICLE 205.06.

3. EARTH EXCAVATION INCLUDES:

- A. EXCAVATION OF CLAY AND OTHER MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.1 FEET OF THE PLAN SUBGRADE ELEVATIONS WHILE MAINTAINING PROPER DRAINAGE. THE TOLERANCE WITHIN PAVEMENT AREAS SHALL BE SUCH THAT THE EARTH MATERIALS SHALL "BALANCE" DURING THE FINE GRADING OPERATION.
B. PLACEMENT OF THE CLAY AND OTHER SUITABLE MATERIALS SHALL BE WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL IN ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS TO WITHIN A TOLERANCE OF 0.1 FEET. THE FILL MATERIAL SHALL BE PLACED IN LOOSE LIFTS THAT SHALL NOT EXCEED EIGHT (8) INCHES IN THICKNESS, AND THE WATER CONTENT SHALL BE ADJUSTED IN ORDER TO ACHIEVE REQUIRED COMPACTION. STRUCTURAL FILL MATERIAL MAY BE PLACED WITHIN THOSE PORTIONS OF THE SITE NOT REQUIRING STRUCTURAL FILL, TO WITHIN SIX (6) INCHES OF THE PLAN FINISHED GRADE ELEVATION. IN AREAS REQUIRING STRUCTURAL FILL, HOWEVER, THIS MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNSUITABLE MATERIALS UNLESS SPECIFICALLY DIRECTED BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.
C. COMPACTION OF THE CLAY AND OTHER SUITABLE MATERIALS, SHALL BE ACCORDING TO (SSRBC) ARTICLE 205.06.

- 1. UNSUITABLE MATERIAL SHALL BE CONSIDERED AS MATERIAL WHICH IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION, AND IS ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND THE PROPOSED SUBGRADE ELEVATION. THE DECISION TO REMOVE SAID MATERIAL, AND TO WHAT EXTENT, SHALL BE MADE BY A SOILS CONSULTANT WITH THE CONCURRENCE OF THE OWNER.

5. SUB-GRADE PREPARATION

- A. EARTHWORK FOR PROPOSED PAVEMENT SUBGRADE SHALL BE FINISHED TO WITHIN 0.1 FOOT, PLUS OR MINUS, OF PLAN ELEVATION. THE CONTRACTOR SHALL SATISFY HIMSELF THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED AND THAT THE FINISH TOP SUBGRADE ELEVATION HAS BEEN GRADED WITHIN TOLERANCES ALLOWED IN THESE SPECIFICATIONS. UNLESS THE CONTRACTOR ADVISES THE ENGINEER IN WRITING PRIOR TO FINE GRADING FOR AGGREGATE BASE COURSE CONSTRUCTION, IT IS UNDERSTOOD THAT HE HAS APPROVED AND ACCEPTS THE RESPONSIBILITY FOR THE SUBGRADE.
B. PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER AND AGGREGATE BASE COURSE, THE CONTRACTOR SHALL PROVIDE, AS A MINIMUM, A FULLY LOADED SIX-WHEEL TANDEM AXLE TRUCK FOR PROOF ROLLING THE PAVEMENT SUBGRADE PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER AND AGGREGATE BASE MATERIAL. THE SUBGRADE MUST BE PROOF ROLLED AND INSPECTED FOR UNSUITABLE MATERIALS AND/OR EXCESSIVE MOVEMENT BY THE SOILS CONSULTANT AND THE VILLAGE OF MONTGOMERY. IF UNSUITABLE SUBGRADE IS ENCOUNTERED, IT SHALL BE CORRECTED. THIS MAY INCLUDE ONE OR MORE OF THE FOLLOWING METHODS:

- 1) SCARIFY DISC AND AERATE.
2) REMOVE AND REPLACE WITH STRUCTURAL CLAY FILL.
3) REMOVE AND REPLACE WITH GRANULAR MATERIAL.
4) USE OF GEOTEXTILE FABRIC. MAXIMUM DEFLECTION ALLOWED IN ISOLATED AREAS MAY BE 1/4" TO 1/2", IF NO DEFLECTION OCCURS OVER THE MAJORITY OF THE AREA.

- C. PRIOR TO THE CONSTRUCTION OF THE CURB AND GUTTER AND THE PLACEMENT OF THE BASE MATERIAL, THE PAVEMENT AREA SHALL BE FINE GRADED TO WITHIN 0.04 FEET (1/2") OF FINAL SUBGRADE ELEVATION, TO A POINT TWO (2) FEET BEYOND THE BACK OF CURB, SO AS TO INSURE THE PROPER THICKNESS OF PAVEMENT COURSES. NO CLAIMS FOR EXCESS QUANTITY OF BASE MATERIALS DUE TO IMPROPER SUBGRADE PREPARATION WILL BE HONORED.
D. PRIOR TO PLACEMENT OF THE AGGREGATE BASE COURSE, THE SUBGRADE MUST BE APPROVED BY THE SOILS CONSULTANT AND THE VILLAGE OF MONTGOMERY ENGINEER.

- 6. ALL MATERIALS BEING UTILIZED FOR TOPSOIL OR UTILIZED IN LANDSCAPING PRACTICE SHALL BE CONSISTENT OF A NON-CONTAMINATED CONDITION AS SPECIFIED IN THE CCDD, TIER 1 CATEGORIZATION. ALL MATERIALS NOT MEETING THESE STANDARDS BUT DESIGNATED TO REMAIN ON SITE SHALL BE SPECIFICALLY NOTED AND SHOWN ON ALL AS-BUILT PLANS.

7. MISCELLANEOUS: THE CONTRACTOR SHALL

- A. SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS.
B. SCARIFY, DISC, AERATE, AND COMPACT, TO THE DEGREE SPECIFIED, THE UPPER TWELVE (12) INCHES OF THE SUITABLE SUBGRADE MATERIAL, IN ALL AREAS THAT MAY BE SOFT DUE TO EXCESS MOISTURE CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS.
C. PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION.

SIGNING AND PAVEMENT MARKINGS

- 1. ALL SIGNING AND PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (SSRBC), AND THE VILLAGE OF MONTGOMERY SPECIFICATIONS.
2. SIGNS: SIGNS SHALL BE CONSTRUCTED OF 0.080 INCH THICK FLAT ALUMINUM PANELS WITH REFLECTORIZED LEGEND ON THE FACE IN ACCORDANCE WITH (SSRBC) SECTION 720. LEGEND SHALL BE IN ACCORDANCE WITH MUTCD.
3. POSTS: SIGN POSTS SHALL BE A HEAVY DUTY STEEL "U" SHAPED CHANNEL WEIGHING 3.0 POUNDS/FOOT SUCH AS A TYPE B METAL POST PER (SSRBC) SECTION 729 [OR: 2" PERFORATED STEEL TUBE PER (SSRBC) SECTION 728].
4. SIGNS AND POSTS SHALL BE INSTALLED IN ACCORDANCE WITH THE ABOVE (SSRBC) SECTIONS AND IDOT STANDARD 728001 OR 729001.
5. PAVEMENT MARKINGS: ALL PAVEMENT MARKINGS IN THE ROADWAY LIMITS, SUCH AS STOP BAR LINES, CENTERLINES, CROSSWALKS AND DIRECTIONAL ARROWS SHALL BE REFLECTORIZED THERMOPLASTIC PER (SSRBC) SECTION 780.
6. PAVEMENT MARKINGS ON BIKE PATHS, PARKING LOT STALLS, AND SIMILAR "LOW WEAR" APPLICATION, SHALL BE PAINT IN ACCORDANCE TO (SSRBC) SECTION 780.
7. COLOR, WIDTH, STYLE, AND SIZE OF ALL MARKINGS SHALL BE IN ACCORDANCE WITH (MUTCD).
8. THERMOPLASTIC MARKINGS SHALL BE INSTALLED BETWEEN APRIL 15TH & NOVEMBER 1ST AND WHEN THE PAVEMENT TEMPERATURE IS 55° F AND RISING. PAINT MARKINGS MAY BE INSTALLED WHEN THE AIR TEMPERATURE IS 50° F AND RISING.

Table with 4 columns: TITLE, JCL, AJR, DSGN, DWN, CHKD, SCALE, INA, GN130266A.DWG, NATURE OF REVISION, NO, DATE

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PROJECT NO. 130266A

DATE : 06/24/2015

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PAVING NOTES

1. GENERAL
- A. PAVING WORK INCLUDES FINAL SUBGRADE SHAPING, PREPARATION AND COMPACTION; PLACEMENT OF SUB-BASE AND/OR BASE COURSE MATERIALS; PLACEMENT OF BITUMINOUS MATERIAL PRIME COAT; BITUMINOUS BINDER AND SURFACE COURSES; FORMING, FINISHING AND CURING CONCRETE PAVEMENT, CURBS AND WALKS; AND FINAL CLEAN-UP AND ALL RELATED WORK.
- B. COMPACTION REQUIREMENT: PRIOR TO PLACEMENT OF THE HOT-MIX ASPHALT BASE COURSE, THE CONTRACTOR SHALL PROVIDE, AS A MINIMUM, A TANDEM AXLE TRUCK LOADED TO A MINIMUM GROSS WEIGHT OF 40,000 LBS. PROOF ROLLING PROCEDURES SHALL CONFORM TO (SSRBC) ARTICLE 351.10. IF UNSUITABLE SUB-BASE IS ENCOUNTERED IT SHALL BE CORRECTED BY REMOVING AND REPLACING WITH GRANULAR PGE MATERIAL AS SPECIFIED BY THE ENGINEER. HOT-MIX ASPHALT SHALL BE COMPACTED ACCORDING TO (SSRBC) ARTICLE 406.07.
- C. HOT-MIX ASPHALT SHALL BE PLACED ON A CLEAN DRY BASE. THE HOT-MIX ASPHALT BASE COURSE SHALL BE PLACED ACCORDING TO (SSRBC) ARTICLE 355.05. THE HOT-MIX ASPHALT BINDER COURSE, LEVELING BINDER AND SURFACE COURSE SHALL BE PLACED ACCORDING TO (SSRBC) ARTICLE 406.06.
- D. THE HMA SHALL BE DELIVERED AT A TEMPERATURE OF 250F AND 350F.
- E. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING, WARNING DEVICES AND THE SAFE MANAGEMENT OF TRAFFIC WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE ILLINOIS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION AND IN ACCORDANCE WITH THE VILLAGE OF MONTGOMERY CODE.

2. CONCRETE WORK

- A. ALL EXTERIOR CONCRETE SHALL BE PORTLAND CEMENT CONCRETE CLASS SI OR PV PER (SSRBC) SECTION 1020.04 WITH AIR ENTRAINMENT OF NOT LESS THAN FIVE (5%) OR MORE THAN EIGHT (8%) PERCENT. CONCRETE SHALL BE A MINIMUM OF SIX (6) BAG MIX AND SHALL DEVELOP A MINIMUM OF 3,500 PSI COMPRESSIVE STRENGTH AT FOURTEEN (14) DAYS. ALL CONCRETE SHALL BE BROOM FINISHED PERPENDICULAR TO THE DIRECTION OF TRAVEL.
- B. CONCRETE CURB AND/OR COMBINATION CURB AND GUTTER SHALL BE OF THE TYPE SHOWN ON THE PLANS. THE CONTRACTOR IS CAUTIONED TO REFER TO THE CONSTRUCTION STANDARDS AND THE PAVEMENT CROSS-SECTION TO DETERMINE THE GUTTER FLAG THICKNESS AND THE AGGREGATE BASE COURSE THICKNESS BENEATH THE CURB AND GUTTER. 1" PREMOLDED FIBER EXPANSION JOINTS SHALL BE INSTALLED AT SIXTY (60) FOOT INTERVALS AND AT ALL PC'S, PT'S AND CURB RETURNS. TWO #4 REBARS SHALL BE CONTINUOUSLY INSTALLED ALONG ALL CURB AND GUTTER. ALTERNATE ENDS OF THE DOWEL BARS SHALL BE GREASED AND FITTED WITH CAPS. SAWED FORMED CONTRACTION JOINTS SHALL BE PROVIDED AT NO GREATER THAN FIFTEEN (15) FOOT INTERVALS AND 2" IN DEPTH, BETWEEN EXPANSION JOINTS AND AT ALL PC'S, PT'S AND CURB RETURNS. NO HONEY-COMBING OF THE CURB AND GUTTER WILL BE ACCEPTED.
- C. CURBS SHALL BE DEPRESSED AT LOCATIONS WHERE PUBLIC WALKS/PEDESTRIAN PATHS INTERSECT CURB LINES, AT DRIVEWAY LOCATIONS, AND AT OTHER LOCATIONS SPECIFIED ON THE PLANS OR AS DIRECTED BY THE ENGINEER OR VILLAGE, FOR THE PURPOSE OF PROVIDING ACCESSIBILITY. (SEE CONSTRUCTION STANDARDS FOR DETAIL).

- D. THE CURBS SHALL BE BACKFILLED ACCORDING TO (SSRBC) ARTICLE 606.13.

- E. CONCRETE SIDEWALK SHALL HAVE JOINTS SCORED AT 5 FOOT INTERVALS AND 1/2" PREMOLDED FIBER EXPANSION JOINTS AT 50 FOOT INTERVALS, AND ADJACENT TO CONCRETE CURBS, DRIVEWAYS, FOUNDATIONS, ETC.

- F. CONCRETE DRIVEWAY APRONS SHALL HAVE 6" x 6" NO. 6 WELDED WIRE MESH IN [ALL] [COMMERCIAL] DRIVEWAYS. PROVIDE 1/2" PREMOLDED FIBER EXPANSION JOINT ADJACENT TO CURBS AND CONCRETE SIDEWALKS. PROVIDE SAWED OR FORMED CONTRACTION JOINT AT MID-POINT AND TEN (10) FOOT MAXIMUM.

- G. CONCRETE CURING AND PROTECTION SHALL BE IN ACCORDANCE WITH (SSRBC) - METHOD A, B, OR C. TWO (2) COATS OF BOILED LINSEED OIL IN CONFORMANCE WITH (SSRBC) SHALL BE APPLIED TO ALL EXPOSED CONCRETE SURFACES.

3. FLEXIBLE PAVEMENT

- A. THE PAVEMENT MATERIALS FOR HOT-MIX ASPHALT STREETS, PARKING LOTS, DRIVEWAYS, AND MULTI-USE PATHS SHALL BE AS DETAILED ON THE PLANS. THE HOT-MIX ASPHALT STREETS SHALL CONSIST OF AGGREGATE BASE COURSE, TYPE B, HOT-MIX ASPHALT BASE COURSE, IL-19.0, N50; HOT-MIX ASPHALT BINDER COURSE, IL-19, N50; AND HOT-MIX ASPHALT SURFACE, MIX "D", N50; OF THE THICKNESS AND MATERIALS SPECIFIED ON THE PLANS. THICKNESSES SPECIFIED SHALL BE CONSIDERED TO BE THE MINIMUM COMPACTED THICKNESS.

- B. ALL TRAFFIC SHALL BE KEPT OFF THE COMPLETED AGGREGATE BASE UNTIL THE HOT-MIX ASPHALT BASE COURSE IS PLACED. THE AGGREGATE BASE SHALL BE UNIFORMLY PRIME COATED AT A RATE OF 0.25 TO 0.50 GALLONS PER SQUARE YARD PRIOR TO PLACING THE HOT-MIX ASPHALT BASE COURSE. PRIME COAT MATERIALS SHALL BE BITUMINOUS M.C. - 30.

- C. PRIOR TO PLACEMENT OF THE HOT-MIX ASPHALT BINDER COURSE AND THE HOT-MIX ASPHALT SURFACE COURSE THE RESPECTIVE HOT-MIX ASPHALT PAVEMENT, SHALL BE CLEANED TO THE SATISFACTION OF THE ENGINEER, AND PRIME COATED. ALL DAMAGED AREAS IN THE BINDER, BASE OR CURB SHALL BE REPAIRED TO THE SATISFACTION OF THE ENGINEER AND VILLAGE PRIOR TO PLACING THE HOT-MIX ASPHALT SURFACE COURSE. THE CONTRACTOR SHALL PROVIDE WHATEVER EQUIPMENT AND MANPOWER NECESSARY, INCLUDING THE USE OF POWER BROOMS IF REQUIRED BY THE ENGINEER OR VILLAGE, TO PREPARE THE PAVEMENT FOR APPLICATION OF THE HOT-MIX ASPHALT SURFACE COURSE. THE PRIME COAT SHALL BE UNIFORMLY APPLIED TO THE HOT-MIX ASPHALT BASE COURSE AND THE HOT-MIX ASPHALT BINDER COURSE AT A RATE OF 0.05 TO 0.10 GALLONS PER SQUARE YARD. PRIME COAT SHALL BE AS SPECIFIED IN (SSRBC) ARTICLE 406.02.

- D. FOR NEW STREETS, THE CONTRACTOR SHALL PERMIT THE HOT-MIX ASPHALT BINDER COURSE TO WEATHER ONE (1) COMPLETE WINTER SEASON PRIOR TO THE INSTALLATION OF THE HOT-MIX ASPHALT SURFACE COURSE UNLESS OTHERWISE SPECIFIED BY THE VILLAGE OF MONTGOMERY.

- E. DRIVEWAY SLOPES SHALL BE A MINIMUM OF TWO (2) AND NOT GREATER THAN EIGHT (8) PERCENT. DRIVEWAYS SHALL BE CONSTRUCTED SO AS NOT TO IMPEDE SURFACE DRAINAGE SYSTEM.

4. ALL WATER, SANITARY, AND STORM SEWER SERVICES SHALL BE MARKED ON THE CURB WITH A W, S, ST RESPECTIVELY AS IDENTIFIED BY THE ENGINEERING DESIGN AND INSPECTION MANUAL.

5. TESTING AND FINAL ACCEPTANCE

- A. THE CONTRACTOR SHALL FOLLOW THE QUALITY CONTROL TESTING PROGRAM FOR CONCRETE AND HMA PAVEMENT MATERIALS ESTABLISHED BY THE VILLAGE OF MONTGOMERY.
- B. PRIOR TO PLACEMENT OF THE HOT-MIX ASPHALT SURFACE COURSE, THE CONTRACTOR, WHEN REQUIRED BY THE VILLAGE OF MONTGOMERY, SHALL OBTAIN SPECIMENS OF THE HOT-MIX ASPHALT BINDER COURSE WITH A CORE DRILL WHERE DIRECTED, FOR THE PURPOSE OF THICKNESS VERIFICATION.
- C. WHEN REQUIRED BY THE VILLAGE OF MONTGOMERY, THE CONTRACTOR SHALL OBTAIN SPECIMENS OF THE FULL DEPTH HOT-MIX ASPHALT PAVEMENT STRUCTURE WITH A CORE DRILL WHERE DIRECTED, IN ORDER TO CONFIRM THE PLAN THICKNESS. DEFICIENCIES IN THICKNESS SHALL BE ADJUSTED FOR BY THE METHOD DESCRIBED IN (SSRBC), ARTICLE 407.10.
- D. FINAL ACCEPTANCE OF THE TOTAL PAVEMENT INSTALLATION SHALL BE SUBJECT TO THE TESTING AND CHECKING REQUIREMENTS CITED ABOVE.

STORM SEWER NOTES

1. STORM SEWER PIPE: ALL STORM SEWER SMALLER THAN 15 INCHES IN DIAMETER THAT WILL BE PUBLICLY OWNED AND MAINTAINED SHALL BE PVC PIPE, RIGID (MIN. SDR-26, PUSH-ON GASKET JOINTS). ALL STORM SEWER 15 INCHES AND GREATER SHALL BE RCP UNLESS OTHERWISE NOTED ON THE PLANS, IN ACCORDANCE WITH THE FOLLOWING:

PLAN CODE: MATERIAL

- RCP: REINFORCED CONCRETE PIPE (ASTM C-76)
TYPE 1, CLASS III PER SSRBC SECTION 505.
USE CLASS IV PIPE FOR 12" TO 21". FOR ALL OTHER SIZES USE THE CHART CONTAINED IN SECTION 550 FOR TYPE 1 OR TYPE 2 CONSTRUCTION. PRECAST FLARED END SECTIONS MAY HAVE MASTIC JOINTS

2. NON-SHEAR COUPLINGS OR APPROVED EQUAL BY THE VILLAGE SHALL BE USED WHEN JOINING SEWER PIPES OF DISSIMILAR MATERIALS.

3. BEDDING: BEDDING SHALL BE COMPLETED PER THE VILLAGE OF MONTGOMERY ENGINEERING DETAIL FOR PIPE BEDDING SHOWN ON DT5.

4. CONSTRUCTION: ALL STORM SEWERS ARE TO BE CONSTRUCTED USING A LASER INSTRUMENT TO MAINTAIN LINE AND GRADE.

5. COVER: THE CONTRACTOR SHALL MAINTAIN AT LEAST ONE (1') FEET OF COVER OVER THE TOP OF SHALLOW PIPES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL MOUND OVER ANY PIPES WHICH HAVE LESS THAN (1') FEET OF COVER DURING CONSTRUCTION UNTIL THE AREA IS FINAL GRADED OR PAVED.

6. STRUCTURES: MANHOLES, CATCH BASINS AND INLETS SHALL CONFORM TO THE VILLAGE OF MONTGOMERY STANDARD ENGINEERING DETAILS SHOWN ON DT3.

A CONCRETE BENCH TO DIRECT FLOWS SHALL BE CONSTRUCTED IN THE BOTTOM OF ALL INLETS AND MANHOLES.

THE FRAME, GRATE, AND/OR CLOSED LID SHALL BE CAST IRON OF THE STYLE SHOWN ON THE PLANS.

MANHOLE LIDS SHALL BE MACHINE SURFACED, NON-ROCKING DESIGN. THE CLOSED LIDS SHALL HAVE THE WORD "WHEATON STORM" CAST ON THE LID. THE JOINTS BETWEEN CONCRETE SECTION ADJUSTING RINGS, AND FRAME SHALL BE SEALED WITH MASTIC COMPOUND.

7. CLEANING: THE STORM SEWER SYSTEM SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTION AND TESTING.

8. A CURRENT COLOR VIDEO RECORD AND A TYPE WRITTEN TRANSCRIPT OF THE INTERNAL INSPECTION OF THE NEWLY CONSTRUCTED SEWER SYSTEM SHALL BE SUBMITTED PRIOR TO REFUNDING OF SITE IMPROVEMENT ESCROW RETENTION MONIES BY THE VILLAGE OF MONTGOMERY. ALL PUBLIC MAINS SHALL BE VIDEOTAPED. THE CONTRACTOR MUST ROTATE THE LENS OF THE CAMERA TO LOOK AT ALL SERVICES. THE SERVICE CONNECTIONS MUST BE NOTED IN THE TELEVISION REPORT. WHEN THE PROPOSED SANITARY SEWER SYSTEM IS TO CONNECT TO AN EXISTING SANITARY SEWER SYSTEM ABUTTING THE PROPERTY, THE EXISTING SEWER MUST ALSO BE TELEVISED AND REPORTED. THE CONTRACTOR SHALL COORDINATE THE TELEVISION OF EXISTING CONTIGUOUS SEWERS WITH THE VILLAGE OF MONTGOMERY. ALL LINES SHALL BE FLUSHED AND CLEANED PRIOR TO VIDEOTAPING.

9. ALL CONNECTIONS MADE TO THE EXISTING STORM SEWER NEED TO BE MADE BY A CORE AND BOOT.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

THE CONTRACTOR SHALL PROVIDE SOIL EROSION AND SEDIMENTATION CONTROL IN ACCORDANCE WITH THE "PROCEDURES AND STANDARDS FOR SOIL EROSION AND SEDIMENTATION CONTROL IN NORTHEASTERN ILLINOIS" (REVISED JULY, 1988) PREPARED BY THE NORTHEASTERN ILLINOIS EROSION AND SEDIMENTATION CONTROL STEERING COMMITTEE AND THE ILLINOIS URBAN MANUAL PUBLISHED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE - NATURAL RESOURCE CONSERVATION SERVICE FOR THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (LATEST EDITION) AND IN ACCORDANCE WITH THE PLANS.

SOIL STABILIZATION

- TOPSOIL AND VEGETATIVE COVER _ STRIP TOPSOIL AND REMOVE EXISTING VEGETATION. STOCKPILE ON_SITE (FOR REUSE) AT LOCATION DESIGNATED.
- TEMPORARY SEEDING _ TEMPORARY SEEDING SHALL BE PROVIDED WITHIN 7 DAYS TO ANY DISTURBED AREAS THAT ARE SCHEDULED TO REMAIN DENUDED FOR LONGER THAN 14 DAYS.
- PERMANENT SEEDING _ IMMEDIATELY FOLLOWING FINISH GRADING AND TOPSOIL PLACEMENT INSTALL SEEDING OR SOD IN AREAS AS DESIGNATED ON PLANS.
- PAVED AREAS _ INSTALL THE AGGREGATE BASE AS SOON AS POSSIBLE IN THE CONSTRUCTION SEQUENCE TO PROVIDE REQUIRED STABILIZATION.
- SLOPE PROTECTION _ PROTECT SEEDING ON STEEP SLOPES WITH MULCH, EXCELSIOR BLANKET, OR EQUAL.

SEDIMENT CONTROL

- ADJACENT PROPERTY _ PROTECT ADJACENT PROPERTY FROM SEDIMENT DEPOSITION BY PRESERVING A VEGETATED BUFFER STRIP OR BY SEDIMENT BARRIERS OR FILTERS AT THE LOWER PERIMETER OF THE LOT.
- SEDIMENTATION CONTROL SHALL BE PROVIDED IN ALL AREAS AROUND THE PERIMETER OF ALL STOCKPILE AREAS.
- STORM SEWER INLET PROTECTION _ DURING CONSTRUCTION FILTER SEDIMENT LADEN WATER THROUGH STRAW BALES AND FILTER FABRIC BEFORE IT ENTERS NEWLY CONSTRUCTED STORM SEWER.
- DITCH CHECKS SHALL BE INSTALLED AND STAKED IN PLACE AT 250 LINEAL FEET MAXIMUM SPACING IN ALL SWALES. DITCH CHECKS SHALL CONSIST OF A TRIANGULAR SILT DIKE, RIP RAP, OR AN APPROVED EQUAL.

5. CONSTRUCTION ACCESS _ CONSTRUCTION TRAFFIC SHALL ENTER AND LEAVE SITE AT A DESIGNATED ACCESS. PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT (MUD) BY RUNOFF OR VEHICLE TRACKING ONTO STATE HIGHWAYS OR LOCAL STREETS. IF NECESSARY, STATE HIGHWAYS OR LOCAL STREETS SHALL BE CLEANED DAILY AT THE END OF EACH WORK DAY OR AS REQUIRED TO KEEP MUD AND/OR OTHER DEBRIS OFF OF ANY HIGHWAY OR STREET.

6. REMOVAL OF CONTROL MEASURES _ DISPOSE OF ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED.

WATERMAIN NOTES

1. ALL WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", LATEST EDITION, AND REVISIONS THERETO, THE NOTES ON THE PLANS, AND IN ACCORDANCE WITH CODES AND ORDINANCES OF THE VILLAGE OF MONTGOMERY, ILLINOIS.

2. ALL WATER MAIN SHALL BE DUCTILE IRON PIPE CLASS 52 WITH EITHER MECHANICAL OR PUSH_ON JOINTS AND SHALL CONFORM TO ANSI A21.51-96, AWWA C151 AND ANSI A21.11-00, AWWA C111. PIPE SHALL BE MANUFACTURED IN THE UNITED STATES.

3. ALL FITTINGS SHALL BE COMPACT DUCTILE IRON AND SHALL CONFORM TO AWWA/ANSI C153/A21.53_00. FITTINGS SHALL BE U.L. LISTED CLASS 350 TYLER GRIFFIN OR APPROVED EQUAL. FITTINGS SHALL BE MANUFACTURED IN THE UNITED STATES.

4. ALL PIPE AND FITTINGS SHALL BE CEMENT LINED IN ACCORDANCE WITH AWW/ANSI C104/A21.4-95.

5. ALL FITTINGS SHALL BE MECHANICAL JOINT AND INSTALLED WITH RETAINER GLANDS UNLESS OTHERWISE SHOWN ON THE DRAWINGS.

6. ALL MECHANICAL JOINT FITTINGS, VALVES, AND HYDRANTS SHALL BE RESTRAINED WITH RETAINER GLANDS. RETAINER GLANDS SHALL BE UNI-FLANGE SERIES 1400 WEDGE ACTION RETAINER GLAND MEGALUGS OR APPROVED EQUAL.

7. ALL WATER MAIN SHALL BE WRAPPED WITH POLYETHYLENE IN ACCORDANCE WITH AWWA/ANSI C105/A21.5-99.

8. LONG RADIUS CURVES, EITHER HORIZONTAL OR VERTICAL, MAY BE LAID WITH STANDARD PIPE BY DEFLECTIONS AT THE JOINTS. MAXIMUM DEFLECTIONS AT PIPE JOINTS AND LAYING RADIUS FOR THE VARIOUS PIPE LENGTHS SHALL BE IN ACCORDANCE WITH AWWA C600-99. WHEN RUBBER GASKETED PIPE IS LAID ON A CURVE, THE PIPE SHALL BE JOINTED IN A STRAIGHT ALIGNMENT AND THEN DEFLECTED TO THE CURVED ALIGNMENT. TRENCHES SHALL BE MADE WIDER ON CURVES FOR THIS PURPOSE.

9. ALL VALVES SHALL BE GATE VALVES AND SHALL HAVE A NON-RISING STEM, A STANDARD OPERATING NUT, AND OPEN IN A COUNTER-CLOCKWISE DIRECTION. GATE VALVES SHALL BE CLOW, MUELLER, OR WATEROUS RESILIENT WEDGE GATE VALVE IN ACCORDANCE WITH AWWA C509-94. GATE VALVES SHALL BE IN VALVE VAULTS. ALL GATE VALVES SHALL BE CONSISTENT THROUGHOUT A DEVELOPMENT. NO BUTTERFLY VALVES ARE ALLOWED.

10. ALL VALVE BOXES SHALL BE CAST IRON, TWO (2) PIECE 5 1/4" SHAFTS. ALL VALVE BOXES SHALL EITHER BE TRENCH ADAPTER MODEL 6 BY AMERICAN FLOW CONTROL OR SCREW TYPE TYLER MODEL 666-S AND ATTACHED TO THE HYDRANT BARREL WITH GRIP ARMS AS MANUFACTURED BY BLR OR APPROVED EQUAL. LIDS TO BE MARKED "WATER" (VALVE BOX EXTENSIONS IF REQUIRED ARE CONSIDERED INCIDENTAL).

11. ALL HYDRANTS SHALL BE IN ACCORDANCE WITH AWWA C502-94 AND SHALL BE WATEROUS PACER MODEL #WB-67, CLOW F-2545 (MEDALLION), OR MUELLER A-423MJ CENTURION (BREAK AWAY STYLE TRAFFIC DESIGN) WITH ONE (1) 4 1/2" STEAMER NOZZLE AND TWO (2) 2 1/2" HOSE OUTLETS, OF WHICH THE THREADS CONFORM WITH THE STANDARDS OF THE VILLAGE OF MONTGOMERY, ILLINOIS. ALL HYDRANTS SHALL HAVE AN AUXILIARY GATE VALVE. ALL HYDRANTS SHALL BE ONE MODEL THROUGHOUT A DEVELOPMENT.

12. SLEEVES SHALL BE ROCKWELL D.I. COUPLING TYPE 441 OR EQUAL. SLEEVES SHALL BE PROVIDED AT LOCATIONS SHOWN ON THE PLANS OR AS REQUIRED.

13. ALL TEES, BENDS, FIRE HYDRANTS, PLUGS, AND VALVES SHALL BE ADEQUATELY SUPPORTED WITH A CONCRETE BASE AND SUPPORTED LATERALLY WITH POURED IN PLACE THRUST BLOCKING AGAINST UNDISTURBED EARTH.

14. ALL WATER MAINS SHALL HAVE A MINIMUM DEPTH OF COVER OF 5.5'.

15. ALL PRESSURE TAPS TO AN EXISTING VILLAGE MAIN SHALL BE MADE WITH MUELLER MECHANICAL JOINT TAPPING SLEEVE NO. H-615 AND MUELLER RESILIENT TAPPING VALVE (MJ X FL) NO. H-687 OR APPROVED EQUAL AND SHALL BE CONSTRUCTED IN A VALVE VAULT.

16. THE CONTRACTOR SHALL OBTAIN, ERECT, MAINTAIN, AND REMOVE ALL SIGNS, BARRICADES, FLAGMEN, AND OTHER CONTROL DEVICES AS MAY BE NECESSARY FOR THE PURPOSE OF REGULATING, WARNING, OR GUIDING TRAFFIC. PLACEMENT AND MAINTENANCE OF ALL TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE PARTS OF ARTICLE 107.14 OF THE STANDARD SPECIFICATIONS AND THE ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS. CONTRACTOR SHALL FURNISH A TRAFFIC CONTROL PLAN FOR IDOT OR VILLAGE APPROVAL IF REQUIRED.

17. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CODE REQUIREMENTS.

18. THE CONTRACTOR SHALL RESTORE ANY AREA DISTURBED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL USE. THIS SHALL INCLUDE FINISH GRADING, ESTABLISHMENT OF A VEGETATIVE COVER (SEEDING OR SOD), GENERAL CLEANUP, AND PAVEMENT REPLACEMENT.

19. ALL TRENCHES CAUSED BY THE CONSTRUCTION OF SEWERS, WATER MAINS, WATER SERVICE PIPES, AND THE EXCAVATION AROUND CATCH BASINS, MANHOLES, INLETS, AND OTHER APPURTENANCES WHICH OCCUR WITHIN THE LIMITS OF EXISTING OR PROPOSED PAVEMENTS, SIDEWALKS, AND CURB AND GUTTERS OR WHERE THE EDGE OF THE TRENCH SHALL BE WITHIN 2' OF SAID IMPROVEMENTS SHALL BE BACKFILLED WITH CA-6 CRUSHED LIMESTONE (IDOT CERTIFIED) AND MECHANICALLY COMPACTED IN 6"-12" LIFTS DEPENDING ON COMPACTION EQUIPMENT USED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND HEALTHFUL WORKING CONDITIONS THROUGHOUT THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.

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| TITLE : OGDEN HILL EAST MULTI-TENANT BUILDING | |
| JCL | AJR |
| DSGN. | CHKD. |
| DWN. | SCALE : N/A |
| GN130266A.DWG | |
| NO. | DATE |
| NATURE OF REVISION | |

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| PROJECT NO. 130266A |
| DATE : 06/24/2015 |
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21. BEFORE ACCEPTANCE BY THE VILLAGE ALL WORK SHALL BE INSPECTED AND APPROVED BY THE VILLAGE OR ITS REPRESENTATIVES.

22. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.

23. WATER MAINS AND WATER SERVICE LINES SHALL BE PROTECTED FROM SANITARY SEWERS, STORM SEWERS, COMBINED SEWERS, HOUSE SEWER SERVICE CONNECTIONS, AND DRAINS IN ACCORDANCE WITH TITLE 35: ENVIRONMENTAL PROTECTION AGENCY SUBTITLE F: PUBLIC WATER SUPPLIES, CHAPTER II: ENVIRONMENTAL PROTECTION AGENCY, PARTS 651_654 TECHNICAL POLICY STATEMENTS, SECTION 653.119.

24. WHENEVER POSSIBLE, A WATER MAIN MUST BE LAID AT LEAST 10' HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN OR SEWER LINE. SHOULD LOCAL CONDITIONS EXIST WHICH WOULD PREVENT A LATERAL SEPARATION OF 10', A WATER MAIN MAY BE LAID CLOSER THAN 10' TO A STORM OR SANITARY SEWER PROVIDED THAT THE WATER MAIN INVERT IS AT LEAST 18" ABOVE THE CROWN OF THE SEWER, AND IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER. IF IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL OR VERTICAL SEPARATION AS DESCRIBED ABOVE, THEN THE SEWER MUST ALSO BE CONSTRUCTED OF WATER MAIN TYPE MATERIAL (DUCTILE IRON PIPE WITH SLIP-ON OR MECHANICAL JOINTS, PRESTRESSED REINFORCED CONCRETE PIPE WITH ASTM C-443 JOINTS, ETC.) AND PRESSURE TESTED TO THE MAXIMUM EXPECTED SURCHARGE HEAD TO ASSURE WATER TIGHTNESS BEFORE BACKFILLING.

25. WHENEVER WATER MAINS MUST CROSS HOUSE SEWERS, STORM SEWERS, OR SANITARY SEWERS, THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE INVERT OF THE WATER MAIN IS 18" ABOVE THE CROWN OF THE DRAIN OR SEWER. THIS VERTICAL SEPARATION MUST BE MAINTAINED FOR THAT PORTION OF THE WATER MAIN LOCATED WITHIN 10' HORIZONTALLY OF ANY SEWER OR DRAIN IT CROSSES. THIS MUST BE MEASURED AS THE NORMAL DISTANCE FROM THE WATER MAIN TO THE DRAIN OR SEWER. IF IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED ABOVE OR IF IT IS NECESSARY FOR THE WATER MAIN TO PASS UNDER A SEWER OR DRAIN, THEN THE SEWER MUST BE CONSTRUCTED OF WATER MAIN TYPE MATERIAL (AS NOTED IN ITEM 23). THIS CONSTRUCTION MUST EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL DISTANCE FROM THE WATER MAIN TO THE SEWER OR DRAIN LINE IS AT LEAST 10'. IN MAKING SUCH CROSSINGS, CENTER A LENGTH OF WATER MAIN PIPE OVER/UNDER THE SEWER TO BE CROSSED SO THAT THE JOINTS WILL BE EQUIDISTANT FROM THE SEWER AND AS REMOTE THEREFROM AS POSSIBLE. WHERE A WATER MAIN MUST CROSS UNDER A SEWER, A VERTICAL SEPARATION OF 18" BETWEEN THE INVERT OF THE SEWER AND THE CROWN OF THE WATER MAIN SHALL BE MAINTAINED, ALONG WITH MEANS TO SUPPORT THE LARGER SIZED SEWER LINES TO PREVENT THEIR SETTLING AND BREAKING THE WATER MAIN.

26. VALVE VAULTS SHALL BE ADJUSTED WITH PRECAST CONCRETE OR RUBBER ADJUSTING RINGS TO A MAXIMUM OF 8". NO MORE THAN TWO ADJUSTING RINGS ARE ALLOWED. ANY REQUIRED ADJUSTMENT GREATER THAN 12" WILL NECESSITATE THE ADDITION OF A BARREL SECTION.

27. HYDROSTATIC TESTS - THE CONTRACTOR SHALL PERFORM HYDROSTATIC TESTS IN ACCORDANCE WITH DIVISION IV, SECTION 41 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION, AND APPLICABLE PROVISIONS OF AWWA C600 AND C603. THE WATER MAINS SHALL BE PRESSURE TESTED AT 150 PSI. THE TEST PRESSURE SHALL NOT DROP MORE THAN 2 PSI FOR THE DURATION OF THE TEST. THE GAUGE SHALL BE OF GOOD QUALITY AND CONDITION, AND BE FLUID FILLED. THE GAUGE SHALL HAVE A LARGE ENOUGH RANGE FOR THE PRESSURE BEING TESTED AND SHALL BE CAPABLE OF READING A MINIMUM PRESSURE INCREMENT OF 1 PSI. ALLOWABLE LEAKAGE SHALL BE AS SET FORTH IN AWWA C600, LATEST EDITION, THE TESTING LENGTH SHALL BE LIMITED TO 1,000'. IF MORE THAN 1,000' OF WATERMAIN IS TESTED, THE ALLOWABLE LEAKAGE WILL BE BASED UPON 1,000'. THE DURATION OF THE TEST SHALL BE FOR 2 HOURS MINIMUM.

28. DISINFECTION OF THE WATER MAINS - UPON COMPLETION OF THE NEWLY LAID WATER MAINS, THE WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH THE AMERICAN WATER WORKS ASSOCIATION, PROCEDURE DESIGNATION, AWWA C651, LATEST EDITION. THE CONTRACTOR IS RESPONSIBLE FOR COLLECTING SAMPLES AND HAVING BACTERIOLOGICAL TESTING PERFORMED AS REQUIRED BY THE IEPA. THE CONTRACTOR SHALL FURNISH TO THE VILLAGE THE REQUIRED DOCUMENTATION, TEST RESULTS, ETC., REQUIRED BY THE IEPA FOR PLACING THE WATER MAINS OR SERVICE LINES IN SERVICE AND/OR SECURING AN OPERATING PERMIT.

29. WATER VALVES AND FIRE HYDRANTS SHALL ONLY BE OPERATED BY VILLAGE OF MONTGOMERY WATER DIVISION PERSONNEL. PLEASE CONTACT THE MONTGOMERY PUBLIC WORKS AT 630-896-9241.

30. IF THE CONTRACTOR PROPOSES TO USE AN EQUAL PRODUCT FOR ANY OF THE ITEMS CONTAINED IN THE VILLAGE OF MONTGOMERY WATERMAIN CONSTRUCTION NOTES OR DETAILS, THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FROM THE MANUFACTURER THAT THE PROPOSED PRODUCT MEETS THE VILLAGE STANDARDS TO THE VILLAGE OF MONTGOMERY DIRECTOR OF PUBLIC WORKS. THE VILLAGE OF MONTGOMERY DIRECTOR OF PUBLIC WORKS SHALL APPROVE THE PROPOSED EQUAL PRODUCT PRIOR TO USE BY THE CONTRACTOR.

GENERAL NOTES (REV 5/11/12)

FOR SANITARY SEWER CONSTRUCTION IN THE FOX METRO WATER RECLAMATION DISTRICT

1. ALL SANITARY SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE "FOX METRO WATER RECLAMATION DISTRICT SEWER USE ORDINANCE NO. 829, THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", AND "77 ILLINOIS ADMINISTRATIVE CODE, PART 890, ILLINOIS PLUMBING CODE", LATEST EDITION.

2. FINAL APPROVED SET OF PLANS AND SPECIFICATIONS MUST BE KEPT ON THE JOB SITE. FAILURE TO COMPLY WITH THIS PROVISION MAY RESULT IN A FINE AND/OR BE CONSIDERED CAUSE TO STOP THE JOB.

3. THE SANITARY SEWER CONTRACTORS FOR ALL SANITARY SEWER MAIN EXTENSION PROJECTS SHALL NOTIFY THE FOX METRO WATER RECLAMATION DISTRICT'S ENGINEERING DEPARTMENT TWO (2) WORKING DAYS PRIOR TO START OF WORK. NOTIFICATION SHALL BE DONE VIA TELEPHONE AT (630) 301-6882, AND FAX AT (630) 892-4394 TO THE ENGINEERING DEPARTMENT. FOR SERVICE CONNECTIONS, CALL TWENTY-FOUR (24) HOURS IN ADVANCE TO SCHEDULE AN INSPECTION AT (630) 301-6811.

4. TO PREVENT ANY POSSIBLE INFILTRATION OR INFLOW FROM ENTERING THE EXISTING DOWNSTREAM SANITARY SYSTEM, A FACTORY-MADE PLUG SHALL BE PLACED IN THE MANHOLE BY THE CONTRACTOR, AS INDICATED ON THE FINAL APPROVED PLANS. THE PLACEMENT OF THE PLUG(S) SHOULD NOT INTERRUPT THE SERVICE OF ANY USER. THIS PLUG IS TO BE REMOVED ONLY UPON APPROVAL BY THE ENGINEERING DEPARTMENT, AND ONLY AFTER ANY ACCUMULATED WATER AND/OR CONSTRUCTION DRAINAGE HAS BEEN PROPERLY REMOVED, UNDER NO CIRCUMSTANCES IS OVERLAND SURFACE DRAINAGE ALLOWED TO DRAIN INTO THE EXISTING SANITARY SYSTEM.

5. ALL SANITARY SEWERS SHALL BE TESTED IN ACCORDANCE WITH SECTION 31-1.11 OF THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS". IN ADDITION, ALL MANHOLES SHALL BE VACUUM TESTED (MANHOLE TESTING WILL BE IN ACCORDANCE WITH ASTM-1244-93 OR IN ACCORDANCE WITH FOX METRO W.R.D. REQUIREMENTS). IN CASE OF TESTING SPECIFICATION CONFLICT, WHERE DEEPER MANHOLES ARE CONSTRUCTED, THE MORE STRINGENT REQUIREMENT WILL APPLY.

6. WHEN CONNECTING TO AN EXISTING SANITARY MAIN WHEN A TEE OR WYE IS NOT PROVIDED, AN "INSERTA TEE" FITTING MUST BE INSTALLED. THE MINIMUM DISTANCE BETWEEN FITTINGS IS 4 FEET CENTER TO CENTER. DISRUPTION OF ANY EXISTING SANITARY MAIN BY BREAKING OR CUTTING IN A WYE/TEE IS PROHIBITED UNLESS THE EXISTING MAIN IS CRACKED OR BROKEN AT THE POINT OF CONNECTION. THE ANGLE OF ANY NEW CONNECTION SHALL NOT EXCEED 1/1 OR 45 DEGREES.

7. "ADAPTOR-SEAL", "INF1-SHIELD", "CANUSA (WRAPID SEAL)", "FLEXRIB" OR APPROVED EQUAL CHIMNEY SEALS SHALL BE INSTALLED ON ALL MANHOLES AND GREASE TRAPS. NO UNAPPROVED SEAL SHALL BE INSTALLED IN THE DISTRICT.

8. ONLY PVC TRANSITION FITTINGS SHALL BE USED IN ALL NEW CONSTRUCTION WHEN JOINING PVC PIPES WHICH ARE DAMAGED DURING CONSTRUCTION OR HAVE DIFFERENT OUTSIDE DIAMETERS. REFER TO FOX METRO "MANHOLE/SEWER PIPE SPECIFICATIONS" FOR INFORMATION RELATING TO REPAIRS OF MAINS DAMAGED DURING CONSTRUCTION.

9. ALL EXISTING SANITARY INTERCEPTOR (MAINS 15" IN DIAMETER OR GREATER) MANHOLE FRAMES LOCATED WITHIN ANY PROPOSED EASEMENT WILL BE REQUIRED TO BE ADJUSTED TO GRADE, UNDER NO CIRCUMSTANCES MAY THE AMOUNT (TWO TOTAL) OF ADJUSTING RINGS EXCEED EIGHT (8) INCHES (SEE OUR TYPE A MANHOLE DETAIL). EXTREME CARE SHOULD BE TAKEN WHEN WORKING NEAR ALL SANITARY MANHOLES.

10. CAST IRON CLEAN-OUT COVERS ARE REQUIRED FOR ALL SEWER SERVICES THAT ARE PROPOSED IN PAVED AREAS (SEE FOX METRO MANHOLE/SEWER PIPE SPECIFICATIONS).

11. DUCTILE IRON AND CAST IRON PIPE IS NOT ALLOWED FOR THE USE OF GRAVITY SEWERS IN THE FOX METRO WATER RECLAMATION DISTRICT. DUCTILE IRON OR CAST IRON PIPE MAY BE USED IN THE CONSTRUCTION OF "CASINGS" OR "SLEEVES" AROUND PVC CARRIER PIPES, AS WELL AS IN THE CONSTRUCTION OF PUMP STATION PIPING AND FORCE MAINS.

12. LANDSCAPING WITHIN ANY FOX METRO EASEMENT IS PROHIBITED WITHOUT REVIEW AND SUBSEQUENT PLAN APPROVAL. IT IS VITAL FOR ALL FOX METRO PERSONNEL TO BE ABLE TO ACCESS THE ENTIRE LENGTH OF ANY INTERCEPTOR EASEMENT FOR THE PURPOSE OF MAINTAINING THE INTEGRITY OF THE SANITARY SEWER SYSTEM OR DEALING WITH EMERGENCIES. THE EASEMENT SHALL BE GRADED SO THAT THE GROUND SURFACE DOES NOT EXCEED A SIX PERCENT (6%) GRADIENT IN ALL DIRECTIONS, UNLESS OTHERWISE APPROVED BY THE DISTRICT.

13. WHEN THE DEVELOPER DESIRES GRAVITY SANITARY SERVICE CONNECTIONS, ALL SANITARY RISERS SHALL BE REQUIRED TO BE CONSTRUCTED TO A DEPTH OF NO GREATER THAN NINE (9) FEET DEEP. IN THE EVENT THE DEVELOPER

PROPOSES ALL OVERHEAD OR "HUNG" SEWERS, SAID SEWER RISERS SHALL BE CONSTRUCTED TO A DEPTH OF NO GREATER THAN 6'-7" FEET DEEP (OR AS SHALLOW AS POSSIBLE IN ORDER TO AVOID CONFLICT ISSUES). IF A CONFLICT ARISES, ILLINOIS EPA WATER & SEWER SEPARATION REQUIREMENTS TAKE PRECEDENCE OVER FOX METRO'S MAXIMUM RISER DEPTH REQUIREMENTS.

14. WHETHER ANY GREASE TRAP IS NEWLY CONSTRUCTED OR "RETROFITTED" TO AN EXISTING BUILDING, ALL FOX METRO GUIDELINES PERTAINING TO MINIMUM SLOPE AND COVER DEPTH FOR SANITARY CONSTRUCTION SHALL BE STRICTLY ADHERED TO. REFER TO APPLICABLE FOX METRO SPECIFICATIONS AND CONSTRUCTION DETAILS FOR SPECIFIC INFORMATION.

15. MINIMUM DESIGN SLOPES SHALL BE 1.00% FOR SIX (6) INCH BUILDING SEWERS, .40% FOR EIGHT (8) INCH SEWERS, AND .28% FOR TEN (10) INCH SEWERS WITH ALL OTHER DESIGN SLOPES CONFORMING TO THE REQUIREMENTS OF THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS".

16. THE INVERTS OF ALL PIPES ENTERING A MANHOLE WHERE THE EXISTING OR PROPOSED OUTLET SEWER IS FIFTEEN (15) INCHES IN DIAMETER OR LARGER SHALL BE SET SO AS TO MATCH THE EIGHTY PERCENT (80%) FLOW LINE OF THE NEW PIPE AND THE PIPE LEAVING THE MANHOLE. THE INVERTS OF ALL PIPES ENTERING A MANHOLE WHERE THE EXISTING OR PROPOSED OUTLET SEWER IS FOURTEEN (14) INCHES IN DIAMETER OR SMALLER SHALL BE DETERMINED BY MATCHING THE ELEVATIONS OF THE TOPS OF ALL PIPES.

17. ALL MANHOLE BARREL SECTIONS (INCLUDING THOSE SECTIONS OF EXISTING MANHOLES WHICH HAVE BEEN EXPOSED DURING CONSTRUCTION) SHALL BE REQUIRED TO BE EXTERNALLY SEALED WITH A *6" OR **9" WIDE (MIN.) SEALING BAND OF RUBBER AND MASTIC. THE BAND SHALL HAVE AN OUTER LAYER OF RUBBER OR POLYETHYLENE WITH AN UNDER LAYER OF RUBBERIZED MASTIC (WITH A PROTECTIVE FILM), MEETING THE REQUIREMENTS OF ASTM C-877, **TYPE II OR *TYPE III.

18. ALL SAGS, LEAKS, PIPE DEFECTS, OR OTHER RELATED ISSUES WITH ANY NEWLY TELEVIEWED SEWER SHALL BE REPAIRED BY THE DEVELOPER'S CONTRACTOR AT THE DISCRETION OF THE DISTRICT. FOR APPROVAL OF REPAIRS, THESE AREAS WILL NEED TO BE CONFIRMED IN WRITING AS COMPLETED BY THE APPROPRIATE MUNICIPALITY OR RE-TELEVIEWED BY THE DISTRICT. AT THE DISTRICT'S DISCRETION, CONNECTION PERMITS MAY BE WITHHELD IF CONFIRMATION OF COMPLETED REPAIRS CANNOT BE OBTAINED.

19. ANY CONTRACTOR, WHO FAILS TO PERFORM IN ACCORDANCE WITH THE DISTRICT'S EXPECTATIONS, SPECIFICATIONS, AND RULES AND REGULATIONS AS PROVIDED, SHALL BE PROHIBITED FROM PERFORMING WORK IN THE DISTRICT. THE DISTRICT RESERVES THE RIGHT TO REVOKE OR DISALLOW ANY CONTRACTOR'S BOND.

20. THE DISTRICT SHALL SCHEDULE TELEVIEWING OF ALL SEWERS EIGHT (8) INCHES IN DIAMETER OR GREATER. PRIOR TO TELEVIEWING, THE DEVELOPER SHALL FLUSH AND CLEAN ALL SEWERS. THE DEVELOPER SHALL ALSO BE RESPONSIBLE FOR PROVIDING A SMOOTH, LEVEL AREA OF SUFFICIENT WIDTH ALONG THE SANITARY SEWER SYSTEM WITH ACCESS TO EACH MANHOLE FOR TELEVIEWING AND FLUSHING EQUIPMENT. THE DISTRICT SHALL BE NOTIFIED BY THE MUNICIPALITY OR DEVELOPER THAT THE SYSTEM IS COMPLETED, PROPERLY CLEANED AND PREPARED FOR TELEVIEWING. THE DEVELOPER MAY INCUR ADDITIONAL CHARGES IF PROPER ACCESS TO ALL MANHOLES IS NOT PROVIDED AND/OR FOR CLEANING OF SEWERS BY THE DISTRICT'S CONTRACTOR IF THE SEWERS ARE FOUND NOT TO BE CLEAN DURING TELEVIEWING.

FOX METRO WATER RECLAMATION DISTRICT

MANHOLE / SEWER PIPE MATERIALS AND INSTALLATION SPECIFICATIONS

MATERIALS

1. PIPE & FITTINGS

PIPE AND FITTINGS USED IN SANITARY SEWER CONSTRUCTION SHALL BE POLYVINYL CHLORIDE (PVC) PIPE. PVC PIPE AND FITTINGS DATED OVER ONE YEAR OLD SHALL NOT BE PERMITTED FOR USE. NO GLUED JOINTS SHALL BE ALLOWED OUTSIDE OF THE FOUNDATION WALL OF ANY BUILDING.

THE TYPES OF PVC PIPE AND FITTINGS THAT SHALL BE USED IN THE DISTRICT INCLUDE:

- POLY VINYL CHLORIDE (PVC) SEWER PIPE AND FITTINGS (ASTM - SDR SERIES), CONFORMING TO ASTM NUMBERS D-1784, D-3034, D-3212, F-412, AND F-477.
- POLY VINYL CHLORIDE (PVC) PRESSURE RATED PIPE AND FITTINGS (ASTM - SDR SERIES), CONFORMING TO ASTM NUMBERS D-1784, D-2241, D-3139, F-412 AND F-477.
- POLY VINYL CHLORIDE (PVC) PRESSURE RATED PIPE AND FITTINGS (AWWA DR-SERIES) CONFORMING TO AWWA C-900, AWWA C-905, AND ASTM NUMBERS D-1784, D-3139, F-412, AND F-477.

ALL PVC PLASTIC PIPE AND FITTINGS SHALL HAVE A CELL CLASSIFICATION OF 12454 AS DEFINED IN ASTM D-1784 AND SHALL HAVE MINIMUM PIPE STIFFNESS AS SHOWN BELOW IN TABLE 1. THE REQUIRED STANDARD DIMENSION RATIO (SDR) OR DIMENSION RATIO (DR) FOR PVC PIPE AND FITTINGS SHALL BE SELECTED BASED UPON THE DEPTH OF COVER, AS ALSO SHOWN IN TABLE 1.

| DEPTH OF COVER | PIPE DIAMETER | FOX METRO WRD MINIMUM THICKNESS | NATIONAL STANDARD | MINIMUM PIPE STIFFNESS |
|----------------|---------------|---------------------------------|-------------------|------------------------|
| 0'-15" | 6"-12" | SDR 26 | ASTM D-3034 | 115 |
| 0'-15" | 6"-12" | SDR 26 | ASTM D-2241 | 115 |
| 0'-20" | 6"-12" | SDR 21 | ASTM D-2241 | 224 |
| 0'-30" | 6"-12" | DR-18 | AWWA C-900 | 364 |
| 0'-30" | 14" | DR-18 | AWWA C-905 | 364 |

PVC PIPE FITTINGS CONFORMING TO ASTM D-3034 AND ASTM D-2241 SHALL HAVE A MINIMUM WALL THICKNESS OF SDR 26 PLASTIC PIPE AS DEFINED IN TABLE 1 (ASTM D-3034 OR ASTM D-2241), AND AT LEAST THE SAME THICKNESS OF THE MAIN SEWER LINE IN WHICH THEY ARE BEING INSTALLED.

FITTINGS IN SIZES THROUGH TWELVE (12) INCHES SHALL BE MOLDED IN ONE PIECE (RE-DESIGNED 3-PIECE PLASTIC/TRENDS FITTINGS INCLUDED) WITH ELASTOMERIC JOINTS AND MINIMUM SOCKET DEPTHS AS SPECIFIED IN EACH RESPECTIVE SECTION. FITTINGS ABOVE TWELVE (12) INCHES SHALL BE MOLDED OR FABRICATED WITH ELASTOMERIC JOINTS IN ACCORDANCE WITH ASTM STANDARDS D-1784 AND D-3139 INCORPORATING THE MANUFACTURER'S STANDARD PIPE BELLS AND GASKETS. GASKETS SHALL CONFORM TO ASTM F-477 AND ASTM F-913.

JOINTS SHALL MEET THE REQUIREMENTS OF ASTM STANDARD D-3212 OR D-3139, WHICHEVER IS APPLICABLE. FITTINGS WITH A GASKET RETENTION RACE FORMED BY HEATING OR CRIMPING ARE NOT PERMITTED THROUGHOUT THE DISTRICT. FOX METRO WATER RECLAMATION DISTRICT RESERVES THE RIGHT TO APPROVE/REJECT ALL PIPE AND FITTINGS ON A CASE-BY-CASE BASIS.

2. BEDDING, HAUNCHING, AND INITIAL BACKFILL BEDDING MATERIAL SHALL BE CA-7 CLASS 1A, AS OUTLINED IN ASTM D-2321 AND SHALL BE CERTIFIED BY THE MANUFACTURER AND APPROVED BY THE DISTRICT PRIOR TO INSTALLATION, TO HAVE THE FOLLOWING CHARACTERISTICS:

- DESCRIPTION: SHALL BE CRUSHED STONE OR CRUSHED GRAVEL, AS PRODUCED FROM CRUSHING BY MECHANICAL MEANS.
- GRADATION: SHALL MEET THE IDOT GRADATION OF CA-7, CLASS 1A.
- PLASTICITY INDEX: SHALL MEET A PLASTICITY INDEX OF 0 TO 4 PERCENT AS DETERMINED BY THE METHOD GIVEN IN AASHTO T 90.
- SPECIFIC GRAVITY: SHALL HAVE A SPECIFIC GRAVITY (DRY) OF GREATER THAN 2.45.
- SOURCES OF SUPPLY: ALL SOURCES OF SUPPLY SHALL BE APPROVED BY THE DISTRICT. ONLY COARSE (FRACTURED) AGGREGATES FROM THESE SOURCES SHALL BE USED ON THE JOB UNLESS APPROVAL IN WRITING IS OBTAINED FROM THE DISTRICT.

LABORATORY TEST THE DISTRICT RESERVES THE RIGHT TO REQUIRE A CONTRACTOR TO SUBMIT CERTIFIED COPIES OF ALL REPORTS OF TESTS CONDUCTED BY AN INDEPENDENT LABORATORY BEFORE INSTALLATION OF PVC PLASTIC PIPE. TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH STANDARD METHOD OF TEST FOR "EXTERNAL LOADING PROPERTIES OF PLASTIC PIPE BY PARALLEL-PLATE LOADING."

INTERNAL DIAMETER PIPE SHALL BE CONSTRUCTED SO THAT THE INTERNAL DIAMETER DOES NOT DECREASE BY MORE THAN FIVE (5) PERCENT, IN ORDER TO PROVIDE THE COMPLETE HYDRAULIC CARRYING CAPACITY, AND TO OBTAIN THE JOINT PERFORMANCE AT FIVE (5) PERCENT MAXIMUM DIAMETRIC DEFLECTION.

PIPE INSTALLATION AND FIELD TESTING

1. INSTALLATION

WHEN A SPAN DUE TO OVER-DIG AT ANY WALL OR FOUNDATION EXCEEDS TWO (2) FEET, A SIX (6) INCH SDR 21 (OR THICKER) PVC PIPE SLEEVE THROUGH THE WALL SHALL BE ADDED THROUGH THE SPAN OF THE OVER-DIG AREA. THIS SLEEVE MUST EXTEND AN ADDITIONAL TWO (2) FEET BEYOND THE OVER-DIG AREA, WITH A STONE BASE FOR THE ENTIRE BUILDING SEWER RESTING ON UNDISTURBED SOIL. THIS SLEEVE WILL ACCOMMODATE A FOUR (4) INCH PVC SCHEDULE 40 (OR APPROVED EQUAL) PIPE THAT MUST BE SEALED AT THE SLEEVE, USING A SIX (6) INCH X FOUR (4) INCH REGULAR BRAND MISSION COUPLING. THE SLEEVE PIPE SHALL INCREASE AS NECESSARY TO ACCOMMODATE A LARGER SEWER SERVICE PIPE WHEN REQUIRED, AND SHALL BE SUPPORTED BY CA-7 CLASS 1A CRUSHED STONE OR GRAVEL. SEE FOX METRO'S "TRENCH DETAIL FOR SANITARY SEWER & MAINS" AND "SANITARY SERVICE THROUGH PORCH BOX WALL".

TRENCH WIDTHS SHOULD BE STABLE OR SUPPORTED, PROVIDE A WIDTH SUFFICIENT, BUT NO GREATER THAN NECESSARY TO ENSURE WORKING ROOM TO PROPERLY AND SAFELY PLACE AND CONSOLIDATE HAUNCHING AND OTHER EMBEDMENT MATERIALS. THE SPACE BETWEEN THE PIPE AND TRENCH WALL MUST BE WIDE ENOUGH TO HAND-WORK AND PLACE SAID HAUNCHING MATERIAL. FROM THE TRENCH FLOOR TO TWELVE (12) INCHES ABOVE THE TOP OF PIPE, THE MINIMUM TRENCH WIDTH SHALL BE THE OUTSIDE DIAMETER OF THE PIPE PLUS SIXTEEN (16) INCHES AND THE MAXIMUM TRENCH WIDTH SHALL BE THE DIAMETER OF THE PIPE PLUS TWENTY FOUR (24) INCHES.

WHEN TRENCH WALL SUPPORTS, SUCH AS TRENCH SHEETING, TRENCH JACKS, TRENCH SHIELDS OR BOXES ARE USED, ENSURE THE SUPPORT OF THE PIPE AND ITS EMBEDMENT IS MAINTAINED THROUGHOUT INSTALLATION, INCLUDING DURING AND AFTER THE REMOVAL OF SUCH SUPPORTS.

PIPE SIZE SHALL BE A MINIMUM OF 8" FOR SEWER MAINS AND 6" FOR SEWER SERVICES. PIPES SHALL BE LAID IN A MANNER WHICH PROVIDES UNIFORM SUPPORT OVER THE ENTIRE LENGTH. NO BLOCKING OF ANY KIND SHALL BE USED TO ADJUST THE PIPE TO GRADE EXCEPT WHEN EMBEDMENT CONCRETE IS USED. BEDDING SHALL BE A MINIMUM OF SIX (6) INCHES IN DEPTH. THE BEDDING MATERIAL SHALL BE PLACED AND WORKED IN AROUND PIPE BY HAND TO PROVIDE UNIFORM SUPPORT, THEN AROUND AND OVER THE CROWN OF THE PIPE BY A MINIMUM THICKNESS OF TWELVE (12) INCHES. THE GRANULAR EMBEDMENT MATERIAL SHALL BE PLACED AND CONSOLIDATED THE FULL WIDTH OF THE TRENCH. THE CONTRACTOR SHALL BE REQUIRED TO INSTALL THE PIPE IN SUCH A MANNER THAT THE DIAMETRIC DEFLECTION OF THE PIPE SHALL NOT EXCEED FIVE (5) PERCENT.

PVC TRANSITION FITTINGS SHALL BE USED IN ALL NEW CONSTRUCTION WHEN JOINING PVC PIPES OF DIFFERENT OUTSIDE DIMENSIONS.

SERVICE CONNECTIONS TO NEW MAINS SHALL BE WITH A TEE/WYE FITTING WITH A 6" BRANCH AND SHALL CONNECT TO THE MAIN AT A 45 DEGREE ANGLE.

CAST IRON CLEAN OUT COVERS CONFORMING TO ASTM CLASS 25 OR HIGHER SHALL BE REQUIRED FOR ALL SANITARY SEWER SERVICES LOCATED IN ANY PAVED SURFACE. LOCATIONS OF SAID COVERS SHALL BE LIMITED TO A SPACING OF NO GREATER THAN 100 FEET OR THAT CONSTRUCTED PER THE APPROVED ENGINEERING PLAN.

THE USE OF DUCTILE IRON & CAST IRON PIPE IS NOT ALLOWED FOR THE USE OF GRAVITY SEWERS IN THE FOX METRO WATER RECLAMATION DISTRICT. DUCTILE IRON OR CAST IRON PIPE MAY BE USED IN THE CONSTRUCTION OF "CASINGS" OR "SLEEVES" AROUND PVC CARRIER PIPES, AS WELL AS IN THE CONSTRUCTION OF PUMP STATION PIPING AND FORCE MAINS.

NO GLUED JOINTS SHALL BE ALLOWED OUTSIDE OF THE FOUNDATION WALL OF ANY BUILDING. 4" X 6" NON-SHEAR COUPLINGS SHALL BE USED TO CONNECT THE BUILDING DRAIN TO THE BUILDING SEWER.

WHETHER ANY GREASE TRAP IS NEWLY CONSTRUCTED OR "RETROFITTED" TO AN EXISTING BUILDING, ALL FOX METRO GUIDELINES PERTAINING TO MINIMUM SLOPE AND COVER DEPTH FOR SANITARY CONSTRUCTION SHALL BE STRICTLY ADHERED TO. REFER TO APPLICABLE FOX METRO SPECIFICATIONS AND CONSTRUCTION DETAILS FOR SPECIFIC INFORMATION.

2. TESTING

BEFORE FINAL ACCEPTANCE, ALL SANITARY SEWERS SHALL BE TESTED IN ACCORDANCE WITH SECTION 31-1.11 OF THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" (**SEE ITEM #2 UNDER "MANHOLE INSTALLATION AND FIELD TESTING" BELOW FOR VACUUM TESTING). SPECIFICALLY, ALL PIPELINES CONSTRUCTED OF POLYVINYL CHLORIDE (PVC) SHALL BE SUBJECT TO AIR INFILTRATION, DEFLECTION, VACUUM AND TELEVIEWING TESTS.

THE DEFLECTION TEST SHALL BE PERFORMED NO SOONER THAN THIRTY (30) DAYS OF THE BACKFILLING OPERATION AND SHALL CONSIST OF MEASURING THE PIPE FOR VERTICAL RING DEFLECTION. MAXIMUM RING DEFLECTION OF THE PIPELINE UNDER LOAD SHALL BE LIMITED TO FIVE (5) PERCENT OF THE INTERNAL PIPE DIAMETER. ALL PIPES EXCEEDING THIS DEFLECTION SHALL BE CONSIDERED TO HAVE REACHED THE LIMIT OF ITS SERVICEABILITY AND SHALL BE RE-LAID OR REPLACED BY THE CONTRACTOR AT THEIR SOLE EXPENSE.

THE COST OF ALL DEFLECTION TESTING SHALL BE BORNE BY THE CONTRACTOR AND SHALL BE ACCOMPLISHED BY PULLING A MANDREL, SPHERE, OR PIN-TYPE "GO / NO GO" DEVICE, WITH A DIAMETER EQUAL TO NINETY-FIVE (95) PERCENT OF THE UN-DEFLECTED INSIDE DIAMETER OF THE FLEXIBLE PIPE, THROUGH THE PIPELINE. DR 18 PIPE IS EXEMPT FROM MANDREL TESTING IN THE FOX METRO W.R.D. SERVICE AREA.

ALL SANITARY SEWER (PUBLIC OR PRIVATE) HAVING A DIAMETER OF EIGHT (8) INCHES OR GREATER SHALL BE TELEVIEWED BY THE DISTRICT. SAID TELEVIEWING WORK IS SCHEDULED ONCE ALL SANITARY TESTING (AIR & VACUUM) HAS BEEN RECEIVED BY FOX METRO. ANY DEFECTS IN SAID SEWER SHALL BE REQUIRED TO BE EXCAVATED AND REPAIRED AT THE CONTRACTOR'S OR DEVELOPER'S SOLE EXPENSE. CAUTION SHOULD BE TAKEN BEFORE CONSTRUCTING ROADS, CURBS, SIDEWALKS OR ANY OTHER INFRASTRUCTURE, WHETHER IT IS ABOVE OR BELOW THE GROUND SURFACE. IT IS THE RESPONSIBILITY OF THE UTILITY CONTRACTOR AND THE DEVELOPER TO CONTACT FOX METRO PRIOR TO INSTALLING ANY OF THESE UTILITIES OR INFRASTRUCTURE. REPAIRS TO DEFECTIVE SANITARY SEWERS SHALL BE PERFORMED REGARDLESS OF THE STATUS OF OTHER CONSTRUCTION.

MANHOLE INSTALLATION AND FIELD TESTING

1. INSTALLATION

ALL MANHOLE CASTINGS, ADJUSTING RINGS AND MANHOLE SECTIONS SHALL BE SET IN BUTYL ROPE OR APPROVED EQUAL. THE INSIDE JOINTS OF MANHOLE SECTIONS, ADJUSTING RINGS, AND FRAME SHALL NOT BE MORTARED. HOWEVER, THE AREA BETWEEN THE PIPE AND FLOW CHANNEL SHALL BE FILLED WITH CEMENT MORTAR TO PROVIDE A FLUSH SMOOTH SURFACE. EACH MANHOLE CONE AND BARREL SECTION JOINT SHALL ALSO BE EXTERNALLY SEALED WITH A *6" OR **9" WIDE (MIN.) SEALING BAND OF RUBBER AND MASTIC (SEE "REPAIRS" BELOW). THE BAND SHALL HAVE AN OUTER LAYER OF RUBBER OR POLYETHYLENE WITH AN UNDER LAYER OF RUBBERIZED MASTIC (WITH A PROTECTIVE FILM), MEETING THE REQUIREMENTS OF ASTM C-877, **TYPE II OR *TYPE III. PIPE CONNECTIONS TO ALL MANHOLES THROUGH OPENINGS (CAST OR CORE-DRILLED) SHALL BE PROVIDED WITH A FLEXIBLE RUBBER WATERTIGHT CONNECTOR CONFORMING TO ASTM C-923. "STANDARD SPECIFICATIONS FOR RESILIENT CONNECTORS BETWEEN REINFORCED CONCRETE MANHOLE STRUCTURES AND PIPES". A MAXIMUM OF 8 INCHES OF ADJUSTING RINGS (2 TOTAL RINGS) IS ALLOWED. THE FRAME, CHIMNEY, AND TOP "LIP" OF THE CONE SECTION SHALL BE REQUIRED TO BE SEALED WITH A CHIMNEY SEAL. ONLY "ADAPTOR-SEAL", "INF1-SHIELD", CANUSA (WRAPID SEAL), FLEXRIB OR AN APPROVED EQUAL WILL BE ALLOWED. DO NOT USE UNAPPROVED SEALS.

WHEN A NEW MANHOLE IS APPROVED TO BE CONSTRUCTED ONLY CASCADE BRAND (OR STYLE), OR APPROVED EQUAL, STAINLESS STEEL REPAIR CLAMPS SHALL BE INSTALLED. ONLY REPAIR CLAMPS CONFORMING TO ANSI/NSF-61 SHALL BE ALLOWED. THIS WORK SHALL BE INSPECTED BY FOX METRO W.R.D.

2. TESTING

EACH NEW MANHOLE SHALL BE VACUUM TESTED AFTER MANHOLE IS AT FINISHED GRADE. ALL LIFT HOLES SHALL BE PLUGGED WITH A NON-SHRINKING GROUT. THE MANHOLE FRAME, ADJUSTING RINGS AND CHIMNEY SEALS SHALL BE IN PLACE WHEN TESTING. NO GROUT SHALL BE PLACED IN THE HORIZONTAL JOINTS BEFORE, AFTER OR DURING TESTING IN ORDER TO ACHIEVE A PASSING TEST RESULT. ALL PIPES ENTERING THE MANHOLE SHALL BE PLUGGED, TAKING CARE TO SECURELY BRACE THE PLUGS FROM BEING DRAWN INTO THE MANHOLE. A VACUUM OF TEN (10) INCHES OF MERCURY SHALL BE DRAWN AND THE VACUUM PUMP SHUT OFF. WITH THE VALVES CLOSED, THE TIME SHALL BE MEASURED FOR THE VACUUM TO DROP TO NINE (9) INCHES OF MERCURY (HG) FOR THE FOLLOWING TIME PERIODS FOR EACH SIZE MANHOLE:

- *FORTY-EIGHT (48) INCHES DIAMETER - SIXTY (60) SECONDS
- *SIXTY (60) INCHES DIAMETER - SEVENTY-FIVE (75) SECONDS
- *SEVENTY-TWO (72) INCHES DIAMETER - NINETY (90) SECONDS

*MANHOLE TESTING WILL BE IN ACCORDANCE WITH ASTM-1244-93 OR IN ACCORDANCE WITH FOX METRO W.R.D. REQUIREMENTS. IN CASE OF CONFLICT, THE MORE STRINGENT REQUIREMENT WILL APPLY (E.G. WHERE DEEPER MANHOLES ARE CONSTRUCTED).

THE CONTRACTOR SHALL PROVIDE ALL MATERIAL AND EQUIPMENT NECESSARY FOR TESTING. SHOULD THE MANHOLE FAIL THE VACUUM TEST, ALL LEAKS SHALL BE SEALED WITH AN APPROVED NON-SHRINKING GROUT AND RE-TESTED UNTIL A SATISFACTORY RESULT IS OBTAINED.

TITLE : **OGDEN HILL EAST MULTI-TENANT BUILDING**

JCL
DSGN. DWN. CHKD. SCALE : NA

JCL
AJR

JCL

GN13026GA.DWG

NATURE OF REVISION

NO. DATE

CLIENT : **INLAND NATIONAL DEVELOPMENT CORPORATION**
2901 BUTTERFIELD ROAD
OAK BROOK, IL 60523
(630) 218-8000

WBK ENGINEERING, LLC
8 EAST GALENA BLVD, SUITE 402
AURORA, ILLINOIS 60506
(630) 701-2245

WBK engineering

PROJECT NO. 130266A

DATE : 06/24/2015

DRAWING NO. **GN3**

SHEET:

4 OF 19

REPAIRS & REHABILITATION OF EXISTING PIPES AND MANHOLES

1. PIPES

PIPE CONNECTIONS OF DISSIMILAR MATERIALS SHALL BE MADE WITH A NON-SHEAR FLEXIBLE NEOPRENE "MISSION" BRAND CONNECTOR WITH STAINLESS STEEL BANDS, WHERE NO "HUB" EXISTS.

WHERE A NEW HOME IS CONSTRUCTED ON ANY LOT WHERE THE SANITARY SERVICE IS MADE OF RIGID MATERIALS SUCH AS VITRIFIED CLAY, CAST IRON, OR DUCTILE IRON, SAID SERVICE WILL BE REQUIRED TO BE REMOVED OR LINED TO THE PUBLIC MAIN. ANY EXISTING SANITARY SEWER MAIN OR SERVICE, WHICH IS REQUIRED TO BE LINED, SHALL BE REPAIRED WITH A CURED-IN-PLACE PIPE (CIPP) MEETING THE REQUIREMENTS OF ASTM F1216, D5813, D790 AND D2990. SAID CIPP SHALL BE INSTALLED USING THE INVERSION METHOD ONLY, NOT DRAGGED.

WHERE A NEWLY CONSTRUCTED SANITARY MAIN NEEDS TO BE REPAIRED DUE TO DAMAGE HAVING OCCURRED DURING CONSTRUCTION, CASCADE BRAND (OR STYLE), OR APPROVED EQUAL, STAINLESS STEEL REPAIR CLAMPS SHALL BE REQUIRED. ONLY REPAIR CLAMPS CONFORMING TO ANSI/NSF-61 SHALL BE ALLOWED. WHEN THE DAMAGE OCCURS WITHIN 30 FEET OF A MANHOLE, THE CONTRACTOR SHALL REMOVE AND REPLACE THE DAMAGED MAIN FROM THE NEAREST JOINT TO THE MANHOLE.

2. MANHOLES

EACH MANHOLE, WHICH HAS BEEN DISTURBED IN ANY WAY, INCLUDING BEING RAISED OR LOWERED, SHOULD BE CLEANED AND DRIED BEFORE RE-SEALING. EACH CONE AND BARREL SECTION JOINT SHALL REQUIRE A DOUBLE-LAYER OF BUTYL ROPE AND ALSO BE EXTERNALLY SEALED WITH A *6" OR **9" WIDE (MIN.) SEALING BAND OF RUBBER AND MASTIC. THE BAND SHALL HAVE AN OUTER LAYER OF RUBBER OR POLYETHYLENE WITH AN UNDER LAYER OF RUBBERIZED MASTIC (WITH A PROTECTIVE FILM), MEETING THE REQUIREMENTS OF ASTM C-877, **TYPE II OR *TYPE III.

A MAXIMUM OF 8 INCHES OF ADJUSTING RINGS (2 TOTAL RINGS) IS ALLOWED IN ANY REPAIR. THE FRAME AND CHIMNEY OF THE CONE SECTION SHALL BE REQUIRED TO BE SEALED WITH A CHIMNEY SEAL. ONLY "ADAPTOR-SEAL", "NFI-SHIELD", CANUSA (WRAPID SEAL), FLEXRIB OR APPROVED EQUAL WILL BE ALLOWED.

CONTRACTOR NOTICE

IMPORTANT – PLEASE READ

WE STRONGLY URGE YOU TO HAVE EVERY CONTRACTOR AND/OR SUBCONTRACTOR PERFORMING WORK ON YOUR PROJECT, READ AND INITIAL THIS NOTICE. THE FOLLOWING LIST REPRESENTS COSTLY PROBLEMS OR VIOLATIONS THAT COMMONLY OCCUR DURING OR AFTER CONSTRUCTION. OUR GOAL IS TO MAKE EVERYONE AWARE OF THESE PROBLEMS AND HOPEFULLY REDUCE UNNECESSARY DELAYS, EXPENSES, AND FINES.

IN ORDER TO PERFORM NEW CONSTRUCTION OR REPAIR WORK ON ANY PRIVATE SANITARY OR WATER SERVICE, THE FOLLOWING MUST BE COMPLETED BEFORE WORK MAY COMMENCE:

- A \$25,000 LICENSE & PERMIT BOND MADE OUT TO THE FOX METRO WATER RECLAMATION DISTRICT MUST BE RECEIVED AND APPROVED FOR NEW CONSTRUCTION OR REPAIR WORK.
- A FOX METRO W.R.D. PERMIT (CONNECTION PERMIT FOR NEW CONSTRUCTION OR A REPAIR PERMIT) IS REQUIRED.
- AN INSPECTION (PERFORMED BY FOX METRO) MUST BE SCHEDULED 24 HOURS PRIOR TO ANY WORK IN ORDER TO CHECK STATUS OF PERMIT.

1. ALL SANITARY SEWER MAIN CONSTRUCTION MUST HAVE AN ILEPA PERMIT AND PLAN APPROVAL LETTER ON FILE AT FOX METRO WATER RECLAMATION DISTRICT PRIOR TO COMMENCING. PLEASE PROVIDE OUR OFFICE WITH 48-HOUR NOTIFICATION TO VERIFY THIS BEFORE STARTING CONSTRUCTION. IF CONSTRUCTION DOES NOT COMMENCE WITHIN TWO (2) DAYS OF THE INITIAL NOTICE, START NOTIFICATION MUST BE RESUBMITTED.

2. ALL NEW SANITARY CONSTRUCTION MUST BE SECURELY PLUGGED AND MAINTAINED TO PREVENT UNNECESSARY FLOW OR DISCHARGE INTO THE EXISTING SANITARY SYSTEM. THE PLUG(S) MAY ONLY BE REMOVED AFTER PERMISSION HAS BEEN OBTAINED FROM FOX METRO'S ENGINEERING DEPARTMENT AND ALL CONSTRUCTION DRAINAGE HAS BEEN PROPERLY REMOVED.

3. ALL PRIVATE SANITARY SEWER SERVICE CONNECTIONS (6" OR 8" PIPE) MUST HAVE A CONNECTION PERMIT FROM FOX METRO WATER RECLAMATION DISTRICT, AND ARE TO BE INSPECTED BY FOX METRO. PLEASE CALL (630) 301-6811 TO SCHEDULE INSPECTIONS 24 HOURS FROM STARTING CONSTRUCTION. NO SERVICE PIPE SHALL BE INSTALLED UNTIL ALL PROPOSED MAINS HAVE BEEN TESTED AND APPROVED BY FOX METRO AND A FINAL RECORDED SUBDIVISION PLAN IS SUBMITTED.

4. ALL DOMESTIC WATER SERVICE INSTALLATIONS (EXCEPT FOR THE VILLAGE OF OSWEGO AND THE UNITED CITY OF YORKVILLE) ARE TO BE INSPECTED BY FOX METRO. ANY ALL FINAL CONNECTIONS TO ANY BUILDING, MADE BY ANY PLUMBER OR EXCAVATOR, SHALL ALSO BE INSPECTED BY FOX METRO.

5. ALL SANITARY MANHOLES ARE TO BE SEALED (CHIMNEY & BARRELS) AND VACUUM TESTED. ANY DISRUPTION OF THESE MANHOLES WILL BREAK THE SEAL(S), REQUIRING A COSTLY RESEALING AND RETESTING PROCESS, USUALLY PAID FOR BY THE DEVELOPERS BECAUSE THE RESPONSIBLE PARTY IS RARELY FOUND. PLEASE STAY CLEAR OF ALL MANHOLES.

6. CONTRACTORS ARE USING THE SANITARY SEWER SYSTEM TO DRAIN NEWLY EXCAVATED BASEMENTS BY PUMPING INTO THE SERVICE LINE OR DIRECTLY INTO A NEARBY MANHOLE. DURING HEAVY RAIN EVENTS THIS WILL CAUSE THE SYSTEM TO BACKUP INTO OCCUPIED BASEMENTS CREATING DAMAGE AND ENDANGERING THE HEALTH AND SAFETY OF OTHERS. HEAVY FINES AND FEES WILL BE LEVIED FOR THESE VIOLATIONS OF FOX METRO W.R.D. ORDINANCE #800.

7. DUCTILE IRON & CAST IRON PIPE IS NOT ALLOWED FOR THE USE OF GRAVITY SEWERS IN THE FOX METRO WATER RECLAMATION DISTRICT. DUCTILE IRON OR CAST IRON PIPE MAY BE USED IN THE CONSTRUCTION OF "CASINGS" OR "SLEEVES" AROUND PVC CARRIER PIPES, AS WELL AS IN THE CONSTRUCTION OF PUMP STATION PIPING AND FORCE MAINS.

FOR QUESTIONS REGARDING PERMITTING AND NEW CONSTRUCTION CALL ENGINEERING AT (630) 301-6882. FOR QUESTIONS REGARDING INSPECTIONS, CONSTRUCTION, OR TO REPORT VIOLATIONS OR OPEN MANHOLES, PLEASE CALL FIELD ENGINEERING AT (630) 301-6811.

VILLAGE OF MONTGOMERY WATER MAIN DISINFECTION PROCEDURES

PLANS SHOWING PROPOSED SAMPLE POINTS, CHLORINE INJECTION POINTS, AND THE FLUSHING OPERATION SHALL BE SUBMITTED TO THE ENGINEERING DIVISION OF THE DEPARTMENT OF PUBLIC WORKS WITH THE APPLICATION FOR A CONSTRUCTION PERMIT. UPON APPROVAL THIS PLAN MUST BE DISTRIBUTED TO THE CONTRACTORS AND CHLORINATORS.

PRESSURE TESTING, PRELIMINARY FLUSHING, AND CHLORINATING THE WATER MAIN SHALL BE CONDUCTED UNDER THE SUPERVISION OF THE VILLAGE OF MONTGOMERY'S ENGINEERING DIVISION OR ITS DESIGNATED REPRESENTATIVE.

THE CONTRACTOR SHALL NOTIFY THE VILLAGE OF MONTGOMERY'S ENGINEERING DEPARTMENT A MINIMUM OF 48 HOURS IN ADVANCE REGARDING DATES OF PRESSURE TESTING, PRELIMINARY FLUSHING AND CHLORINATION APPOINTMENTS.

PRELIMINARY FLUSHING:
COMPLETED WATER MAINS SHALL BE FILLED SLOWLY TO ELIMINATE AIR POCKETS BEFORE PRESSURE TESTING.

AFTER SATISFACTORY COMPLETION OF PRESSURE TESTING, THE WATER MAIN SHALL RECEIVE A PRELIMINARY FLUSH.

FLUSHING OF WATER MAINS SHALL BE CONDUCTED UNDER THE SUPERVISION OF THE VILLAGE OF MONTGOMERY'S ENGINEERING DIVISION, OR ITS DESIGNEE, IN ACCORDANCE WITH THE APPROVED FLUSHING PLAN. THE FLUSHING SHALL INCLUDE 100% OF THE NEWLY INSTALLED WATER MAIN AS WELL AS EVERY FIRE HYDRANT INSTALLED. DURING THE FLUSHING OPERATION THE DIRECTION OF FLOW THROUGH THE MAINS SHALL BE REVERSED. ALL MAIN LINE AND HYDRANT VALVES SHALL BE OPENED AND CLOSED WHILE FLUSHING IN EACH DIRECTION.

THE FLUSHING VELOCITY IN THE MAIN SHALL NOT BE LESS THAN 2.5 FEET/SECOND. (SEE TABLE "A"). NOTE: FLUSHING IS NO SUBSTITUTE FOR PREVENTIVE MEASURES DURING CONSTRUCTION. CERTAIN CONTAMINANTS, SUCH AS CAKED DEPOSITS, RESIST FLUSHING AT ANY FEASIBLE VELOCITY.

TABLE "A"

REQUIRED FLOW AND OPENINGS TO FLUSH PIPELINES (40 PSI RESIDUAL PRESSURE IN WATER MAIN)*

| PIPE DIAMETER INCHES OUTLETS* | FLOW REQUIRED TO PRODUCE 2.5 FT/S (APPROX.) VELOCITY IN MAIN | SIZE OF TAP INCHES NUMBER OF | NUMBER OF 2-1/2 INCH HYDRANT TAPS ON PIPE* |
|-------------------------------|--|------------------------------|--|
| 4 | 100 | 1 1-1/2 | 1 |
| 6 | 200 | 1 1-1/2 | 1 |
| 8 | 400 | 2 2 | 1 |
| 10 | 600 | 2 2 | 1 |
| 12 | 900 | 2 2 | 2 |
| 16 | 1600 | 4 4 | 2 |

*WITH A 40-PSI PRESSURE IN THE MAIN WITH THE HYDRANT FLOWING TO ATMOSPHERE, A 2-1/2 IN. HYDRANT OUTLET WILL DISCHARGE APPROXIMATELY 1000 GPM AND A 4-1/2 IN. HYDRANT OUTLET WILL DISCHARGE APPROXIMATELY 2500 GPM.

*NUMBER OF TAPS ON PIPE BASED ON DISCHARGE THROUGH 5 FT. OF GALVANIZED IRON (GI) PIPE WITH ONE 90 DEGREE ELBOW.

CHLORINATING THE MAIN:

THE CHLORINATION OF THE WATER MAIN SHALL BE WITNESSED BY THE VILLAGE OF MONTGOMERY'S ENGINEERING DEPARTMENT OR THEIR DESIGNEE. THE VILLAGE'S DESIGNEE SHALL NOTIFY THE WATER PRODUCTION DIVISION IMMEDIATELY FOLLOWING THE CHLORINATION.

THE CHLORINATION OF THE PROJECT SHALL NOT BE PERMITTED UNTIL A PRELIMINARY FLUSH HAS BEEN PERFORMED AND WITNESSED.

UNDER THE SUPERVISION OF THE PROJECT INSPECTOR, WATER FROM THE EXISTING DISTRIBUTION SYSTEM SHALL BE MADE TO FLOW AT A CONSTANT RATE INTO THE NEWLY LAID WATER MAIN. AT A POINT NOT MORE THAN 10 FEET DOWNSTREAM FROM THE BEGINNING OF THE NEW MAIN, WATER ENTERING THE NEW MAIN SHALL RECEIVE A DOSE OF CHLORINE FED AT A CONSTANT RATE SUCH THAT THE WATER WILL RECEIVE NOT LESS THAN 50 MG/L FREE CHLORINE. (SEE TABLE "B").

ALL MAIN LINE AND HYDRANT VALVES (EXCEPT FOR VALVES AT THE CONNECTION BETWEEN THE NEW AND EXISTING SYSTEMS) SHALL BE OPERATED AFTER THE MAIN HAS BEEN CHLORINATED IN ORDER TO ALLOW THE VALVE DISK TO MAKE CONTACT WITH THE CHLORINE SOLUTION.

TABLE "B"

CHLORINE REQUIRED TO PRODUCT 50 MG/L CONCENTRATION IN 100 FT. OF PIPE BY DIAMETER.

| PIPE DIAMETER IN. | 100 PERCENT CHLORINE LB. |
|-------------------|--------------------------|
| 4 | .026 |
| 6 | .060 |
| 8 | .108 |
| 10 | .170 |
| 12 | .240 |
| 16 | .434 |

BACTERIOLOGICAL TESTING:

AFTER A MINIMUM OF 48 HOURS AFTER THE WATER MAIN HAS BEEN PROPERLY CHLORINATED, THE CONTRACTOR SHALL SCHEDULE AN APPOINTMENT FOR BACTERIOLOGICAL TESTING WITH THE VILLAGE OF MONTGOMERY'S ENGINEERING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE. JUST PRIOR TO SAMPLING, THE MAIN SHALL BE FLUSHED TO REDUCE THE CHLORINE CONCENTRATION TO NO MORE THAN 3.5 MG/L. ALL BACTERIOLOGICAL SAMPLES SHALL BE COLLECTED BY WATER PRODUCTION DIVISION PERSONNEL.

PER THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY, *ALL WATER MAINS SHALL BE SATISFACTORILY DISINFECTED PRIOR TO USE. IN ACCORDANCE WITH THE REQUIREMENTS OF A.W.W.A. C651-99, AT LEAST ONE SET OF SAMPLES SHALL BE COLLECTED FROM EVERY 1,200 FEET OF NEW WATER MAIN, PLUS ONE SET FROM THE END OF THE LINE AND AT LEAST ONE SET FROM EACH BRANCH. SATISFACTORY DISINFECTION SHALL BE DEMONSTRATED IN ACCORDANCE WITH THE REQUIREMENTS OF 35 ILL.ADM.CODE 652.203.*

SAMPLE POINTS SHALL CONSIST OF COPPER WHIPS ATTACHED TO THE MAIN. SAMPLES SHALL NOT BE DRAWN FROM FIRE HYDRANTS.

ALL OF THE WATER MAIN THAT IS LISTED UNDER THE SAME IEPA PERMIT MUST BE TESTED AS A COMPLETE PROJECT. BACTERIOLOGICAL TESTING WILL NOT START UNTIL THE ENTIRE LENGTH OF MAIN BEING PERMITTED BY THE IEPA FOR THAT PARTICULAR PROJECT, HAS BEEN INSTALLED AND PRESSURE TESTED.

AFTER SAMPLES ARE DRAWN, THE CONTRACTOR, UNDER SUPERVISION OF THE VILLAGE OF MONTGOMERY'S REPRESENTATIVE, SHALL CLOSE THE VALVE FEEDING THE NEW WATER MAIN, UNLESS OTHERWISE DIRECTED BY VILLAGE OF MONTGOMERY PERSONNEL. THE VALVE(S) FEEDING THE NEW MAIN SHALL REMAIN CLOSED UNTIL THE WATER MAIN PROJECT RECEIVES APPROVAL FROM THE WATER PRODUCTION DIVISION.

IN THE CASE OF UNSATISFACTORY WATER SAMPLES, THE WATER PRODUCTION DIVISION WILL REVIEW AND ADVISE THE CONTRACTOR AS TO WHAT PROCEDURES WILL BE REQUIRED FOR FURTHER TESTING.

SERVICE CONNECTIONS AND TAPS WILL NOT BE PERMITTED UNTIL THE NEW WATER MAIN HAS SATISFACTORILY PASSED THE BACTERIOLOGICAL TESTS.

ANY QUESTIONS CONCERNING DISINFECTION PROCEDURES SHOULD BE DIRECTED TO THE MANAGER OF WATER SYSTEMS ENGINEERING (630-859-7622).

TITLE :
OGDEN HILL EAST MULTI-TENANT BUILDING

JCL
AJR
JCL
SCALE : N/A

DSGN.
DWN.
CHKD.
SCALE : N/A
GN130266A.DWG
NATURE OF REVISION
NO. DATE

CLIENT :
INLAND NATIONAL DEVELOPMENT CORPORATION
2901 BUTTERFIELD ROAD
OAK BROOK, IL 60523
(630) 218-8000

WBK ENGINEERING, LLC
8 EAST GALENA BLVD, SUITE 402
AURORA, ILLINOIS 60506
(630) 701-2245

WBK engineering

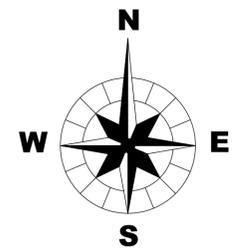
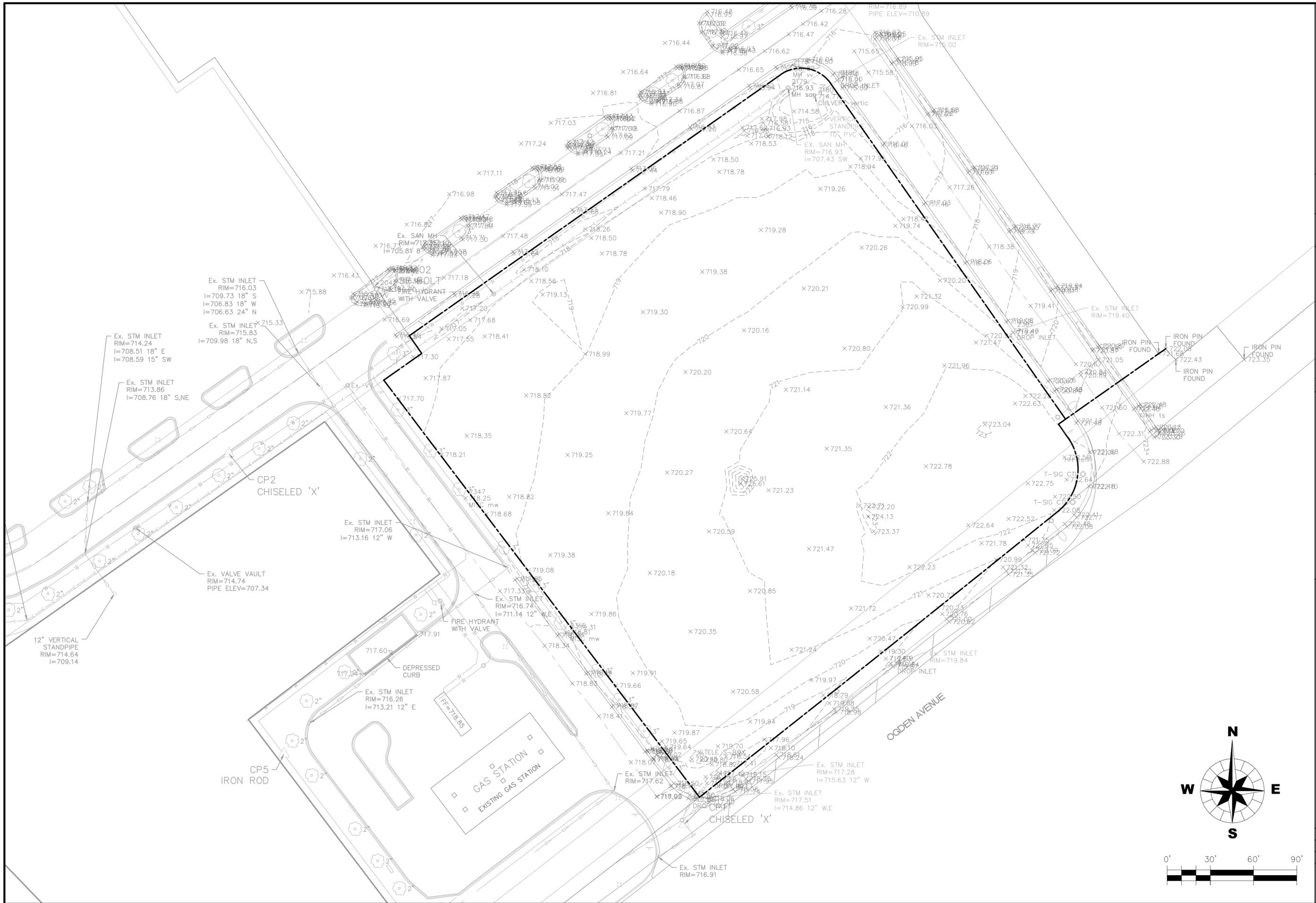
PROJECT NO. 130266A

DATE : 06/24/2015

DRAWING NO. **GN4**

SHEET:

5 OF 19



TITLE : **OGDEN HILL EAST
MULTI-TENANT BUILDING**

| | | | |
|------------------|-----|------|--------------------|
| DSGN. | JCL | DATE | NATURE OF REVISION |
| DWN. | AJR | | |
| CHKD. | JCL | | |
| SCALE : 1" = 30' | | | |
| EC130266A.DWG | | | |

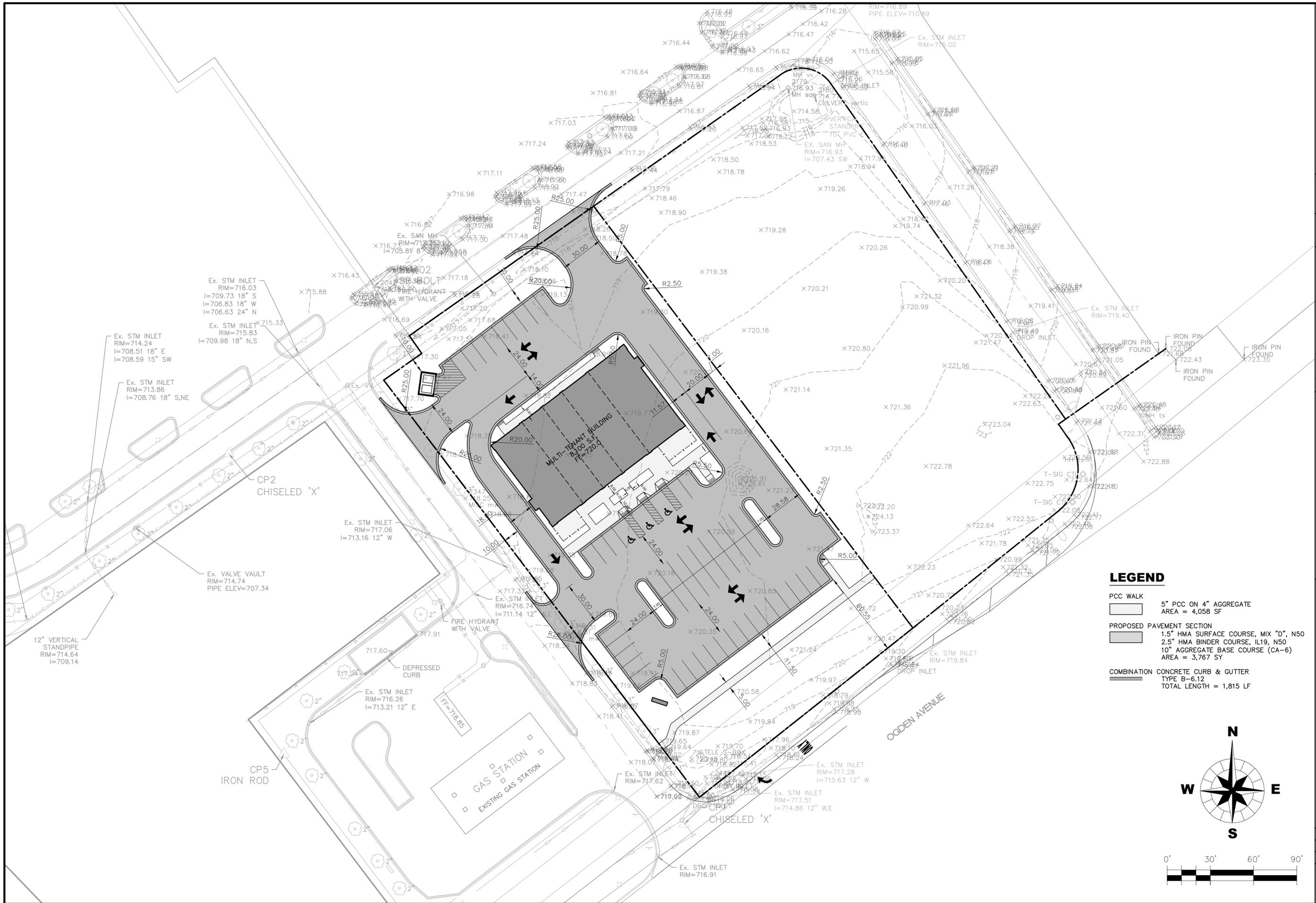
CLIENT : **INLAND NATIONAL
DEVELOPMENT CORPORATION**
2901 BUTTERFIELD ROAD
OAK BROOK, IL 60523
(630) 218-8000

WBK ENGINEERING, LLC
8 EAST GALENA BLD. SUITE 402
AURORA, ILLINOIS 60506
(630) 701-2245



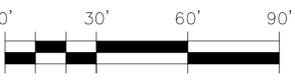
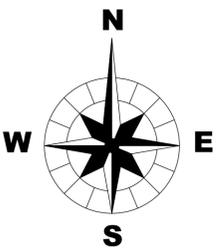
PROJECT NO. 130266A
DATE : 06/24/2015
DRAWING NO. **EC1**
SHEET:
6 OF 19

UPDATED 6/17/2016 - ARWK



LEGEND

- PCC WALK**
 5" PCC ON 4" AGGREGATE
 AREA = 4,058 SF
- PROPOSED PAVEMENT SECTION**
 1.5" HMA SURFACE COURSE, MIX "D", N50
 2.5" HMA BINDER COURSE, IL19, N50
 10" AGGREGATE BASE COURSE (CA-6)
 AREA = 3,767 SF
- COMBINATION CONCRETE CURB & GUTTER**
 TYPE B-6.12
 TOTAL LENGTH = 1,815 LF



| | |
|---|--|
| OGDEN HILL EAST MULTI-TENANT BUILDING | |
| GEOMETRIC PLAN | |
| TITLE : OGDEN HILL EAST MULTI-TENANT BUILDING GEOMETRIC PLAN | SCALE : 1" = 30' DATE : 06/24/2015 |
| DSGN. : JCL DWN. : AJR CHKD. : JCL | NO. : 1 DATE : 08/15/16 NATURE OF REVISION : ADDED SECOND DRIVE THRU |
| CLIENT : INLAND NATIONAL DEVELOPMENT CORPORATION 2901 BUTTERFIELD ROAD OAK BROOK, IL 60523 (630) 218-8000 | |
| PROJECT NO. 130266A DATE : 06/24/2015 DRAWING NO. GM1 SHEET : 7 OF 19 | |
|  | |

UPDATED 8/17/2016 - ARWK



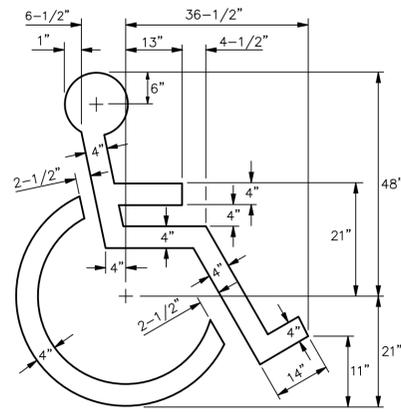
A) STOP SIGN (TYP)



B) HANDICAP PARKING ONLY SIGN (TYP)
NOTE: FINE FOR VIOLATING HANDICAP PARKING IS \$350



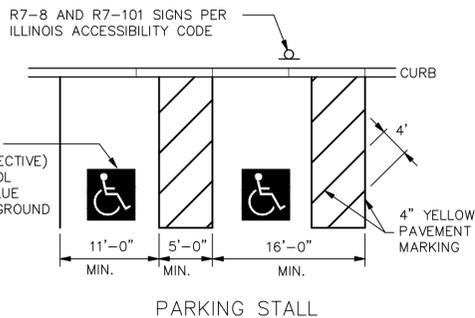
C) NO PARKING FIRE LANE



SYMBOL

HANDICAPPED SYMBOL AND LOCATION

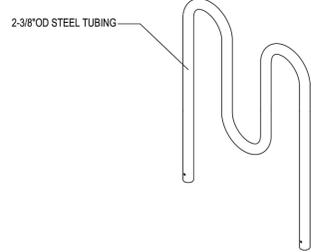
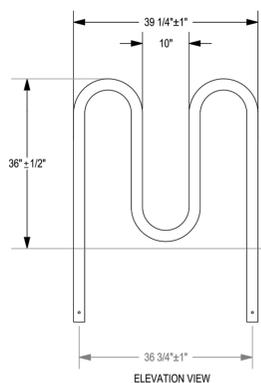
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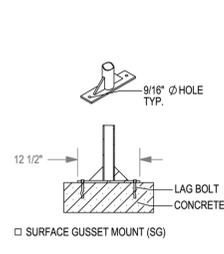
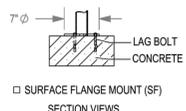
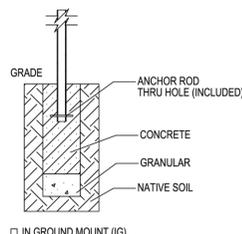
PARKING STALL



MADRAX DIVISION
GRABER MANUFACTURING, INC.
1080 UNIKER DRIVE
WAUNAKEE, WI 53597
P(800) 448-7931, P(608) 849-1080, F(608) 849-1081
WWW.MADRAX.COM, E-MAIL: SALES@MADRAX.COM



3 LOOP - 5 BIKE CAPACITY
CHECK DESIRED MOUNT □



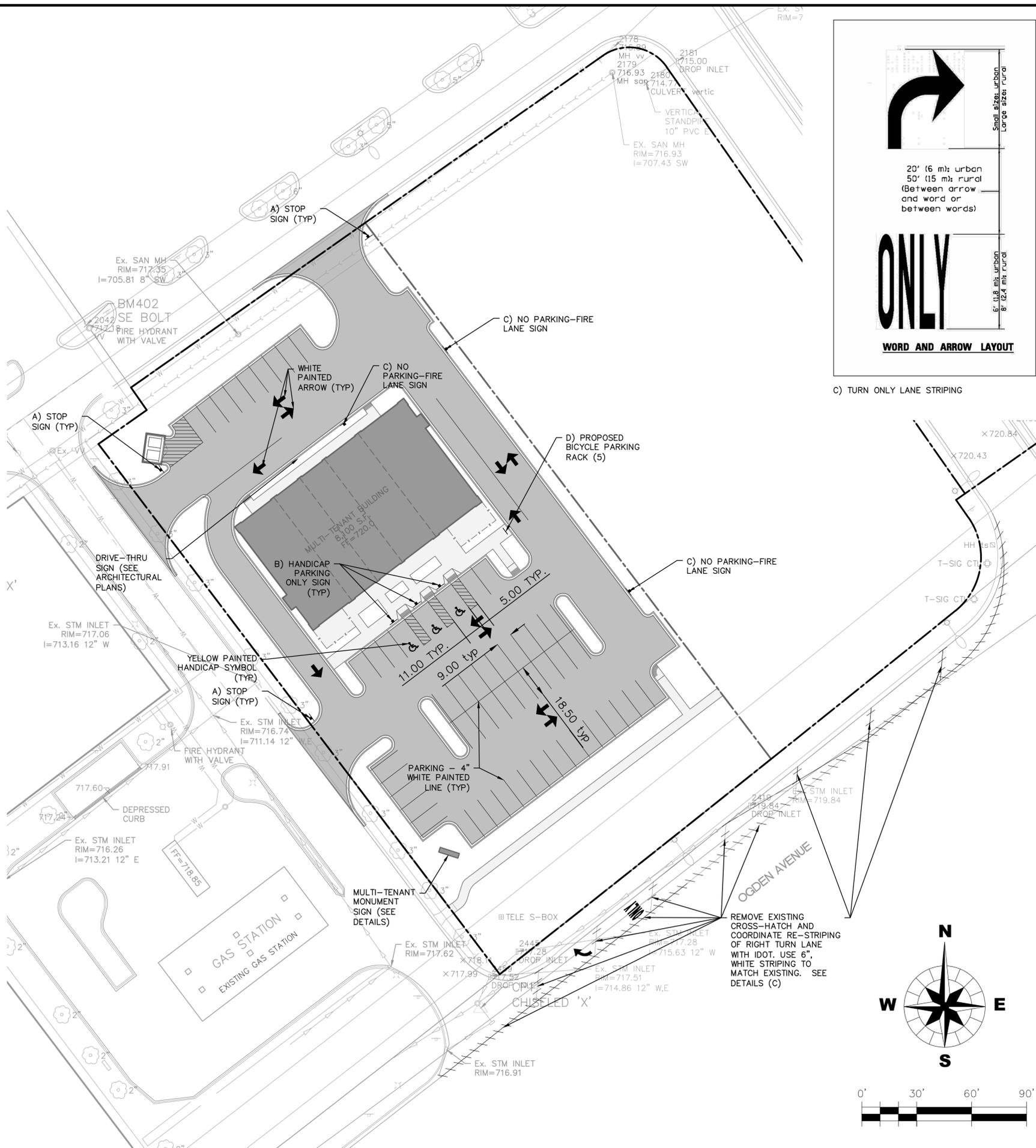
PRODUCT: H36-5-IG(SF-SG)
DESCRIPTION: HEAVY DUTY CHALLENGER BIKE RACK
5 BIKE, SURFACE OR IN GROUND MOUNT
DATE: 8-14-13
ENG: SMC

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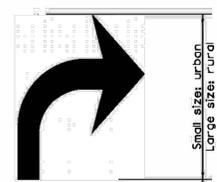
NOTES:
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULTANT TO SELECT COLOR/FINISH. SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

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D) BICYCLE RACK DETAIL—USE MADRAX H36-5-IG OR SIMILAR



C) TURN ONLY LANE STRIPING

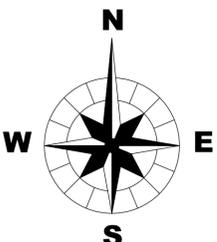


20' (6 m): urban
50' (15 m): rural
(Between arrow and word or between words)



WORD AND ARROW LAYOUT

C) TURN ONLY LANE STRIPING



TITLE: **OGDEN HILL EAST MULTI-TENANT BUILDING SIGNAGE & STRIPING**

| | |
|-----------------|-----|
| DSGN. | JCL |
| DWN. | AJR |
| CHKD. | JCL |
| SCALE: 1" = 30' | |
| SS130266A.DWG | |

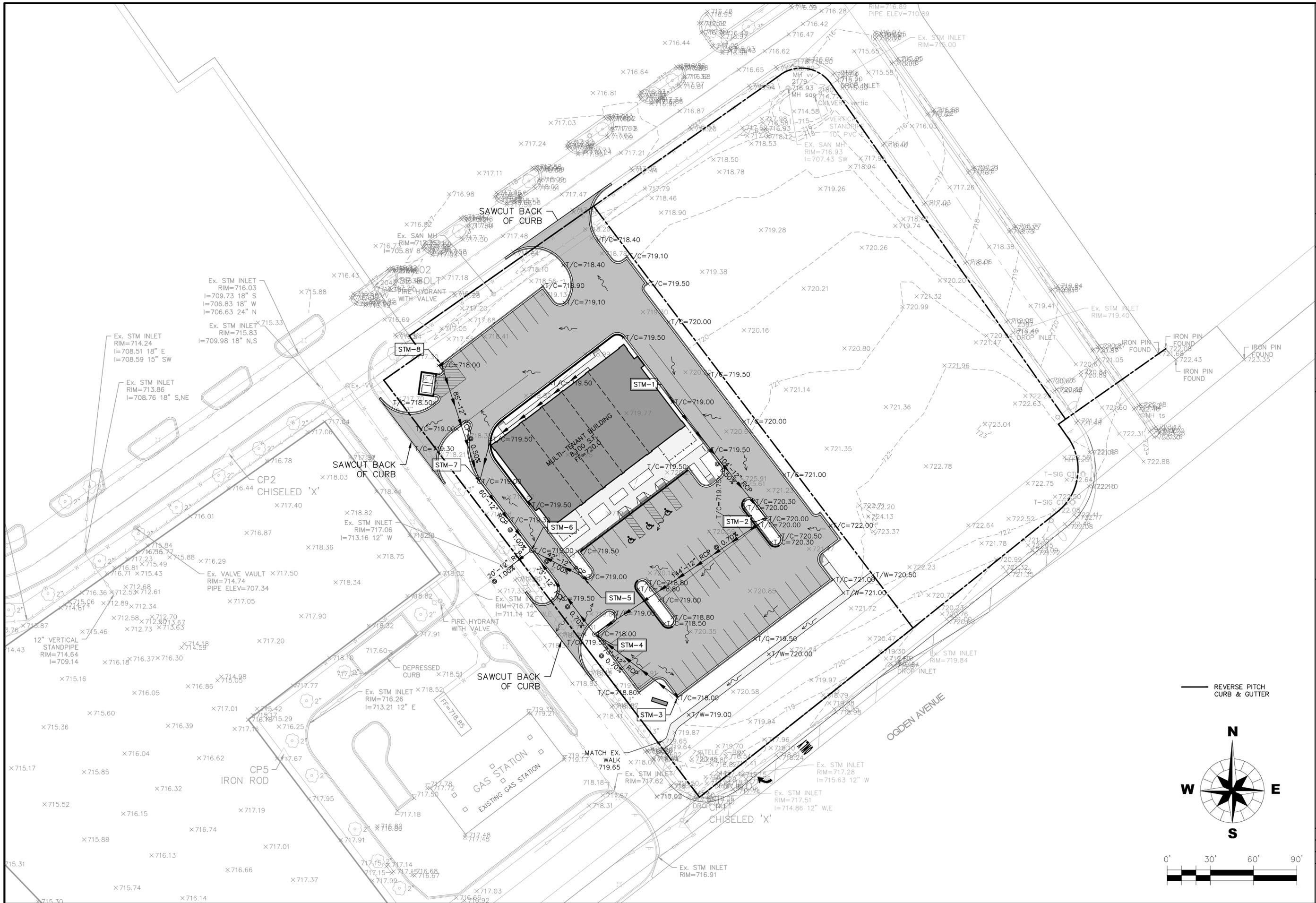
CLIENT: **INLAND NATIONAL DEVELOPMENT CORPORATION**
2901 BUTTERFIELD ROAD
OAK BROOK, IL 60523
(630) 218-8000

WBK ENGINEERING, LLC
8 EAST GALENA BLDV, SUITE 402
AURORA, ILLINOIS 60506
(630) 701-2245



PROJECT NO. 130266A
DATE: 06/24/2015

DRAWING NO. **SS1**
SHEET:



TITLE : **OGDEN HILL EAST MULTI-TENANT BUILDING GRADING PLAN**

| | |
|------------------|-----|
| DSGN. | JCL |
| DWN. | AJR |
| CHKD. | JCL |
| SCALE : 1" = 30' | |
| GR130266A.DWG | |

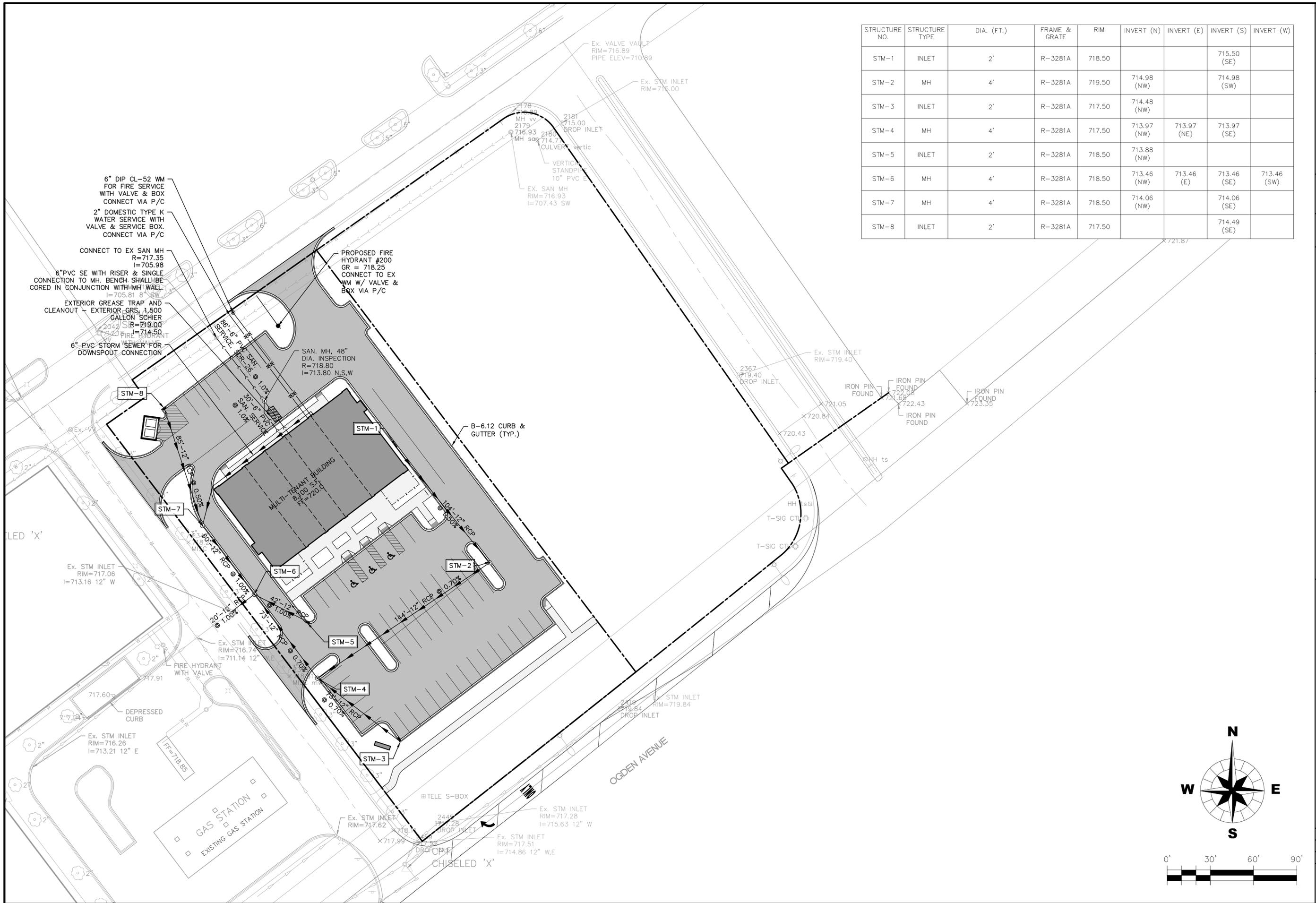
CLIENT : **INLAND NATIONAL DEVELOPMENT CORPORATION**
 2901 BUTTERFIELD ROAD
 OAK BROOK, IL 60523
 (630) 218-8000

WBK ENGINEERING, LLC
 8 EAST GALERIA BLDG, SUITE 402
 AURORA, ILLINOIS 60506
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PROJECT NO. 130266A
 DATE : 06/24/2015
 DRAWING NO. **GR1**
 SHEET:
9 OF 19

UPDATED 6/17/2016 - ARAC



| STRUCTURE NO. | STRUCTURE TYPE | DIA. (FT.) | FRAME & GRATE | RIM | INVERT (N) | INVERT (E) | INVERT (S) | INVERT (W) |
|---------------|----------------|------------|---------------|--------|-------------|-------------|-------------|-------------|
| STM-1 | INLET | 2' | R-3281A | 718.50 | | | 715.50 (SE) | |
| STM-2 | MH | 4' | R-3281A | 719.50 | 714.98 (NW) | | 714.98 (SW) | |
| STM-3 | INLET | 2' | R-3281A | 717.50 | 714.48 (NW) | | | |
| STM-4 | MH | 4' | R-3281A | 717.50 | 713.97 (NW) | 713.97 (NE) | 713.97 (SE) | |
| STM-5 | INLET | 2' | R-3281A | 718.50 | 713.88 (NW) | | | |
| STM-6 | MH | 4' | R-3281A | 718.50 | 713.46 (NW) | 713.46 (E) | 713.46 (SE) | 713.46 (SW) |
| STM-7 | MH | 4' | R-3281A | 718.50 | 714.06 (NW) | | 714.06 (SE) | |
| STM-8 | INLET | 2' | R-3281A | 717.50 | | | 714.49 (SE) | |

OGDEN HILL EAST MULTI-TENANT BUILDING

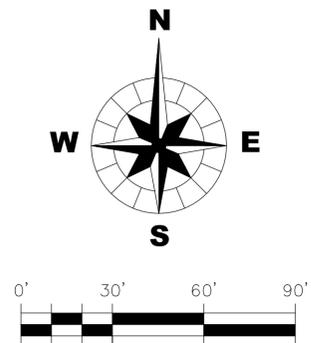
UTILITY PLAN

CLIENT: **INLAND NATIONAL DEVELOPMENT CORPORATION**
 2901 BUTTERFIELD ROAD
 OAK BROOK, IL 60523
 (630) 218-8000

PROJECT NO. 130266A
 DATE: 06/24/2015
 DRAWING NO. **UT1**
 SHEET: **100F19**

WBK ENGINEERING, LLC
 8 EAST GALENA BLVD, SUITE 402
 AURORA, ILLINOIS 60506
 (630) 701-2245

WBK
engineering



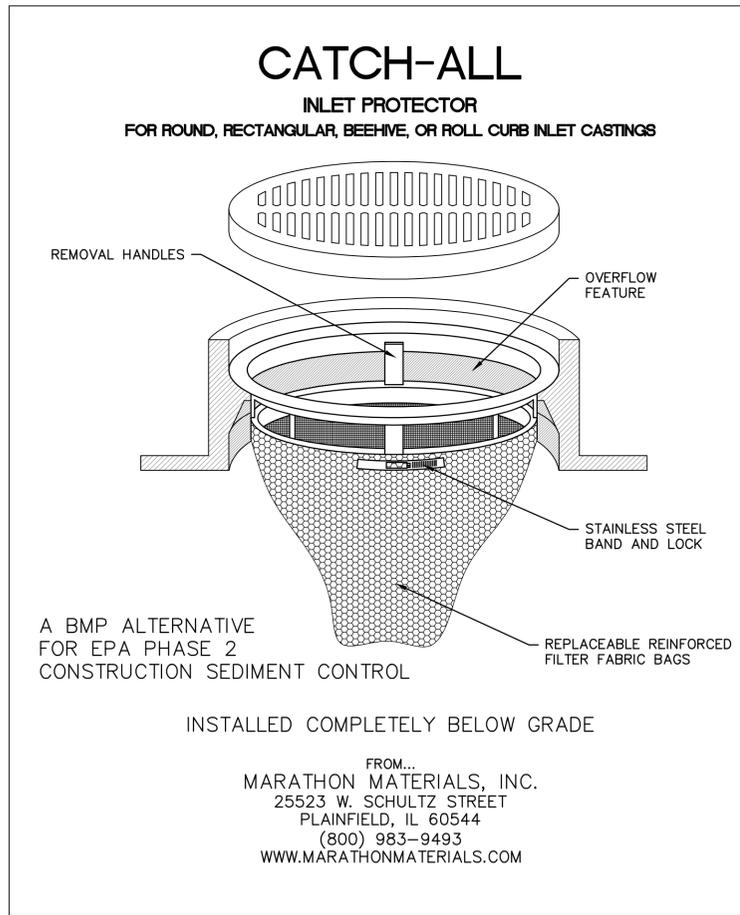
UPDATED 6/17/2016 - ARAC

| CONTROL MEASURE GROUP | CONTROL MEASURE | APPL. | KEY | CONTROL MEASURE CHARACTERISTICS | TEMP. | PERMIT. |
|---------------------------|-------------------------------------|-------|-------|---|-------|---------|
| VEGETATIVE SOIL COVER | TEMPORARY SEEDING | X | (TS) | PROVIDES QUICK TEMPORARY COVER TO CONTROL EROSION WHEN PERMANENT SEEDING IS NOT DESIRED OR TIME OF YEAR IS INAPPROPRIATE. | X | |
| | PERMANENT SEEDING | X | (PS) | PROVIDES PERMANENT VEGETATIVE COVER TO CONTROL EROSION. FILTERS SEDIMENT FROM WATER. MAY BE PART OF FINAL LANDSCAPE PLAN. | | X |
| | DORMANT SEEDING | | (DS) | SAME AS PERMANENT SEEDING EXCEPT IS DONE DURING DORMANT SEASON. HIGHER RATES OF SEED APPLICATION ARE REQUIRED. | | |
| | SODDING | | (SO) | QUICK PERMANENT COVER TO CONTROL EROSION. QUICK WAY TO ESTABLISH VEGETATION FILTER STRIP. CAN BE USED ON STEEP SLOPES OR IN DRAINAGEWAYS WHERE SEEDING MAY BE DIFFICULT. | | |
| | PLANTS, TREES, & SHRUBS | X | (GC) | PROVIDES GROUND COVER, SHRUBS AND TREES IN ADDITION TO PERMANENT VEGETATION. MAY BE USED AS PART OF A FINAL LANDSCAPE PLAN ALONG WITH SHRUBS AND TREES. | | X |
| NON VEGETATIVE SOIL COVER | MULCHING | | (M) | ADDED INSURANCE OF A SUCCESSFUL TEMPORARY OR PERMANENT SEEDING. CONTROLS UNWANTED VEGETATION AND PRESERVES MOISTURE. PROVIDES COVER WHERE VEGETATION CANNOT BE ESTABLISHED. | | |
| | EROSION CONTROL BLANKET | X | (EB) | PROTECTS AND PRESERVES MOISTURE FOR PERMANENT SEEDING ON STEEP SLOPES, AREAS OF PERIODIC CONCENTRATED RUNOFF (DITCHES) OR IN AREAS THAT MAY BE DAMAGED BY PEDESTRIAN TRAFFIC. | X | |
| | AGGREGATE COVER | | (AG) | PROVIDES SOIL COVER ON ROADS AND PARKING LOTS AND AREAS WHERE VEGETATION CANNOT BE ESTABLISHED. PREVENTS MUD FROM BEING PICKED UP AND TRANSPORTED OFF-SITE. | | |
| | PAVING | X | (P) | PROVIDES PERMANENT COVER ON PARKING LOTS AND ROADS OR OTHER AREAS WHERE VEGETATION CANNOT BE ESTABLISHED. | | X |
| DIVERSIONS | RIDGE DIVERSION | | (RD) | TYPICALLY USED ABOVE SLOPES. USED WHERE AN EXCESS OF SOIL IS AVAILABLE. | | |
| | CHANNEL DIVERSION | | (CD) | TYPICALLY USED AT TOP OR BASE OF SLOPES. USED WHEN EXCESS SOIL IS NOT AVAILABLE. | | |
| | COMBINATION DIVERSION | | (DC) | TYPICALLY USED ANYWHERE ON A SLOPE. SOIL TAKEN OUT OF CHANNEL IS USED TO BUILD THE RIDGE. | | |
| | CURB AND GUTTER | | (CG) | SPECIAL CASE OF DIVERSION USED IN CONJUNCTION WITH A STREET TO DIVERT WATER FROM AN AREA NEEDING PROTECTION. | | |
| | BENCHES | | (B) | SPECIAL CASE OF DIVERSION CONSTRUCTED WHEN WORKING ON CUT SLOPES TO SHORTEN LENGTH OF SLOPE AND ADD SLOPE STABILITY. | | |
| WATERWAYS | BARE CHANNEL | | (BC) | PROVIDES MEANS OF CONVEYING RUNOFF TO DESIRED LOCATION. MAY BE USED TO DRAIN DEPRESSIONAL AREAS. ONLY APPLICABLE WHEN VELOCITY OF FLOW IS VERY LOW. | | |
| | STRUCTURAL STREAMBANK STABILIZATION | | (SSS) | PROTECTS STREAMBANKS FROM EROSION FORCE OF FLOWING WATER. | | |
| | VEGETATIVE CHANNEL | | (VC) | PROVIDED ADDED STABILITY TO CHANNEL. USED WHEN VELOCITY OF FLOW IS NOT EXTREMELY FAST. | | |
| | VEGETATIVE STREAMBANK STABILIZATION | | (VS) | PROTECTS STREAMBANKS FROM EROSION FORCE OF FLOWING WATER AND PROVIDES NATURAL, PLEASING APPEARANCE. | | |
| | LINED CHANNEL | | (LC) | USED WHEN VEGETATION WILL NOT PROTECT THE CHANNEL AGAINST HIGH VELOCITIES OF FLOW OR WHERE VEGETATION CANNOT BE ESTABLISHED. | | |
| | DITCH CHECKS | | (SDC) | USED IN DITCHES TO RETARD THE VELOCITY OF WATER IN A DITCH TO MINIMIZE SOIL EROSION PRIOR TO THE DITCH BEING VEGETATED. | | |
| ENCLOSED DRAINAGE | STORM SEWER | | (ST) | CAN BE USED TO CONVEY SEDIMENT LADEN WATER TO SEDIMENT BASIN OR IN CONJUNCTION WITH A WATERWAY. | | |
| | UNDERDRAIN | | (UD) | USED TO LOWER WATER TABLE AND INTERCEPT GROUNDWATER FOR BETTER VEGETATION GROWTH AND SLOPE STABILITY. USED TO CARRY BASE FLOW IN WATERWAYS AND TO DEWATER SEDIMENT BASINS. | | |
| SPILLWAYS | STRAIGHT PIPE SPILLWAY | | (SS) | USED FOR RELATIVELY SMALL VERTICAL DROPS AND SMALL FLOWS OF WATER. | | |
| | DROP INLET SPILLWAY | | (DIS) | SAME AS PIPE SPILLWAY EXCEPT LARGER FLOWS AND LARGE VERTICAL DROPS CAN BE ACCOMMODATED. | | |
| | WEIR SPILLWAY | | (W) | USED FOR RELATIVELY SMALL VERTICAL DROPS AND FLOWS MUCH GREATER THAN PIPE STRUCTURES. | | |
| | BOX INLET WEIR SPILLWAY | | (BS) | SAME AS WEIR SPILLWAY EXCEPT LARGER FLOWS CAN BE ACCOMMODATED BECAUSE OF LOWER WEIR LENGTH. | | |
| OUTLETS | LINED APRON | | (LA) | PROTECTS DOWNSTREAM CHANNEL FROM HIGH VELOCITY OF FLOW DISCHARGING FROM STRUCTURES. | | |
| | EMBANKMENT SEDIMENT BASIN | | (ES) | USED WHERE TOPOGRAPHY LENDS ITSELF TO CONSTRUCTING A DAM AND EARTH FILL IS AVAILABLE. | | |
| SEDIMENT BASINS | EXCAVATED SEDIMENT BASIN | | (XS) | USED WHERE EMBANKMENT COULD CAUSE A HAZARD DOWNSTREAM IN CASE OF FAILURE AND WHEN EXCESS EARTH FILL IS NOT AVAILABLE. | | |
| | COMBINATION SEDIMENT BASIN | | (CS) | USED WHEN TOPOGRAPHY IS SUITABLE BUT ADDITIONAL CAPACITY IS NEEDED. | | |
| | BARRIER FILTER | X | (BF) | USED TO FILTER SEDIMENT FROM RUNOFF. | X | |
| SEDIMENT FILTERS | VEGETATIVE FILTER | | (VF) | USED ALONG DRAINAGEWAYS OR PROPERTY LINES TO FILTER SEDIMENT FROM RUNOFF. SIZE MUST BE INCREASED IN PROPORTION TO DRAINAGE AREA. | | |
| | FILTER FABRIC | X | (FF) | USED FOR ROADWAY CURB INLETS. | X | |
| | SILT FENCE | X | (SF) | USED ALONG DRAINAGEWAYS OR PROPERTY LINES TO FILTER SEDIMENT FROM RUNOFF. | X | |
| | MULCHING | | (M) | USED TO FILTER SEDIMENT FROM RUNOFF. | | |
| MUD AND DUST CONTROL | STABILIZED CONST. ENTRANCE | X | (SE) | PREVENTS MUD FROM BEING PICKED UP AND CARRIED OFF-SITE. | X | |
| | DUST AND TRAFFIC CONTROL | X | (DT) | PREVENTS DUST FROM LEAVING CONSTRUCTION SITE. | X | |

CONSTRUCTION STAGING:
OGDEN HILL MULTI-TENANT BUILDING
PRE-CONSTRUCTION
 INSTALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WITHIN THE CONSTRUCTION AND STAGING AREA:
STAGE 1

1. INSTALL SILT FILTER FENCE AND STABILIZED CONSTRUCTION ENTRANCE
2. INSTALL INLET PROTECTION - FABRIC DROP AT INFLOW STRUCTURES
3. GRADE SITE AND PROCEED WITH PAVING AND BUILDING ACTIVITIES
4. ESTABLISH ACCEPTABLE GROUND COVER WITH PERMANENT SEEDING

CONSTRUCTION STAGING NOTES:
 THE CONTRACTOR WILL NOT BE ALLOWED TO CLEAR MORE THEN ONE STAGE AT A TIME. SOIL STABILIZATION (TEMPORARY OR PERMANENT) MUST BE COMPLETED WITHIN 48 HOURS OF OPENING THE SOIL TO THE ELEMENTS. PERMANENT SOIL STABILIZATION WILL BE INSTALLED PRIOR TO STARTING THE NEXT STAGE OF CONSTRUCTION.
 WINTER SHUT DOWN SHALL BE ADDRESSED EARLY IN THE FALL GROWING SEASON SO THAT SLOPES AND OTHER BARE AREAS MAY BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATIVE COVER TO PROVIDE PROPER SOIL EROSION AND SEDIMENT CONTROL. ALL OPEN AREAS THAT ARE TO REMAIN IDLE THROUGHOUT THE WINTER SHALL RECEIVE TEMPORARY EROSION CONTROL MEASURES INCLUDING TEMPORARY SEEDING, MULCHING AND/OR EROSION CONTROL BLANKET PRIOR TO THE END OF THE FALL GROWING SEASON. THE AREAS TO BE WORKED BEYOND THE END OF THE GROWING SEASON MUST INCORPORATE SOIL STABILIZATION MEASURES THAT DO NOT RELY ON VEGETATIVE COVER SUCH AS EROSION CONTROL BLANKET, HEAVY MULCH, OR HYDRO MULCH.



CONTRACTOR CERTIFICATION

CONTRACTOR CERTIFICATION
 "I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (ILR10) THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION"

GENERAL CONTRACTOR

SIGNATURE _____ TITLE _____ DATE _____

COMPANY _____

SUB-CONTRACTOR RESPONSIBLE FOR:

SIGNATURE _____ TITLE _____ DATE _____

COMPANY _____

WITNESSED BY OWNER

SIGNATURE _____ TITLE _____ DATE _____

COMPANY _____

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL GENERAL AND SPECIAL REQUIREMENTS, CONDITIONS, AND PROVISIONS OR ALL APPLICABLE LOCAL, STATE, AND FEDERAL PERMITS ISSUED FOR THIS PROJECT.

WBK ENGINEERING, LLC. IS NOT RESPONSIBLE FOR IMPLEMENTATION OF THE STORMWATER POLLUTION PREVENTION PLAN, INCLUDING MAINTENANCE AND/OR REPAIR OF SOIL EROSION AND SEDIMENT CONTROL MEASURES, OR FOR COMPLIANCE OF THE CONTRACTORS (AND SUB-CONTRACTORS) WITH THE GENERAL NPDES PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES.

INSPECTION AND MAINTENANCE TABLE

| ACTIVITY | RESPONSIBLE PARTY | DURATION |
|--|-------------------|--|
| MAINTENANCE OF STABILIZATION DURING CONSTRUCTION | | DURING CONSTRUCTION AS NEEDED |
| OBSERVATION OF STABILIZATION DURING CONSTRUCTION | | WEEKLY AND W/IN 24 HRS AFTER RAINFALL EVENT OF 0.5" OR GREATER |
| VEGETATION MAINTENANCE | | 1 YEAR FROM COMPLETION |
| VEGETATION AND STABILIZATION MAINTENANCE | | ONGOING FROM PROJECT COMPLETION |

SOIL PROTECTION SCHEDULE

| STABILIZATION TYPE | JAN. | FEB. | MAR. | APR. | MAY | JUNE | JULY | AUG. | SEPT. | OCT. | NOV. | DEC. |
|--------------------|------|------|------|------|-----|------|------|------|-------|------|------|------|
| PERMANENT SEEDING | | | +A | | | | | | | | | |
| DORMANT SEEDING | B | | | | | | | | | | +B | |
| TEMPORARY SEEDING | | | +C | | | | D | | | | | |
| SODDING | | | +E** | | | | | | | | | |
| MULCHING | F | | | | | | | | | | | |

- A. KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE. C. SPRING OATS 100 LBS/ACRE
 B. KENTUCKY BLUEGRASS 135 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 45 LBS/ACRE + 2 TONS STRAW MULCH/ACRE. D. WHEAT OR CEREAL RYE 150 LBS/ACRE.
 E. SOD F. STRAW MULCH 2 TONS/ACRE.

* IRRIGATION NEEDED DURING JUNE AND JULY.
 ** IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD.

TITLE : **OGDEN HILL EAST MULTI-TENANT BUILDING SOIL EROSION SEDIMENTATION CONTROL PLAN**

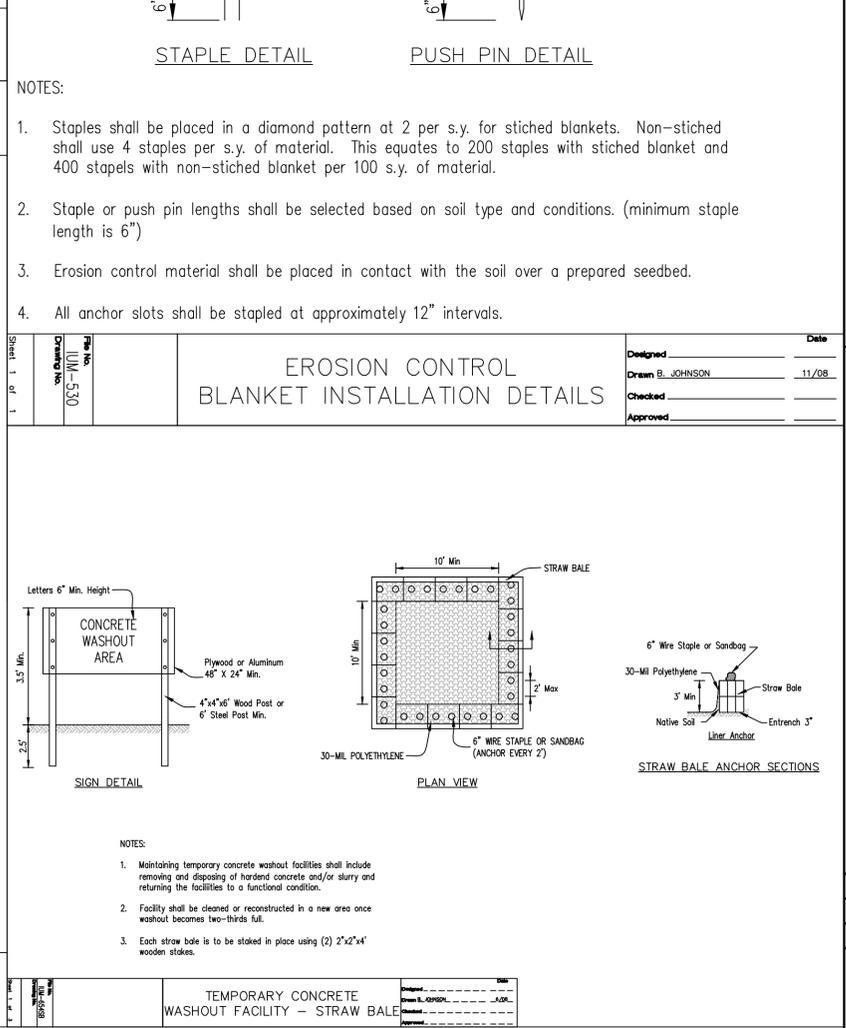
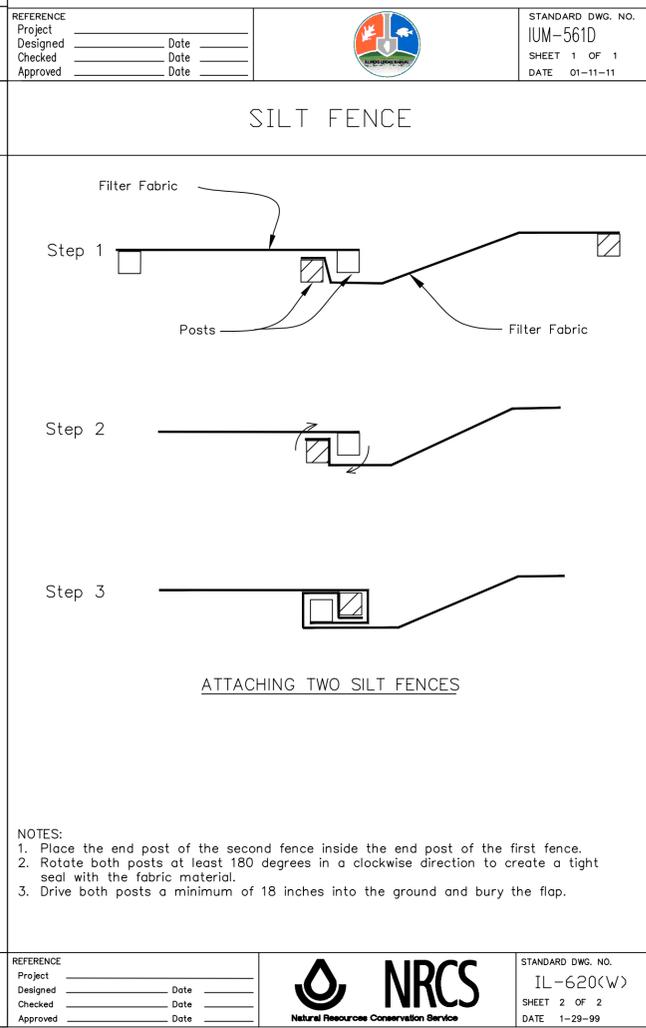
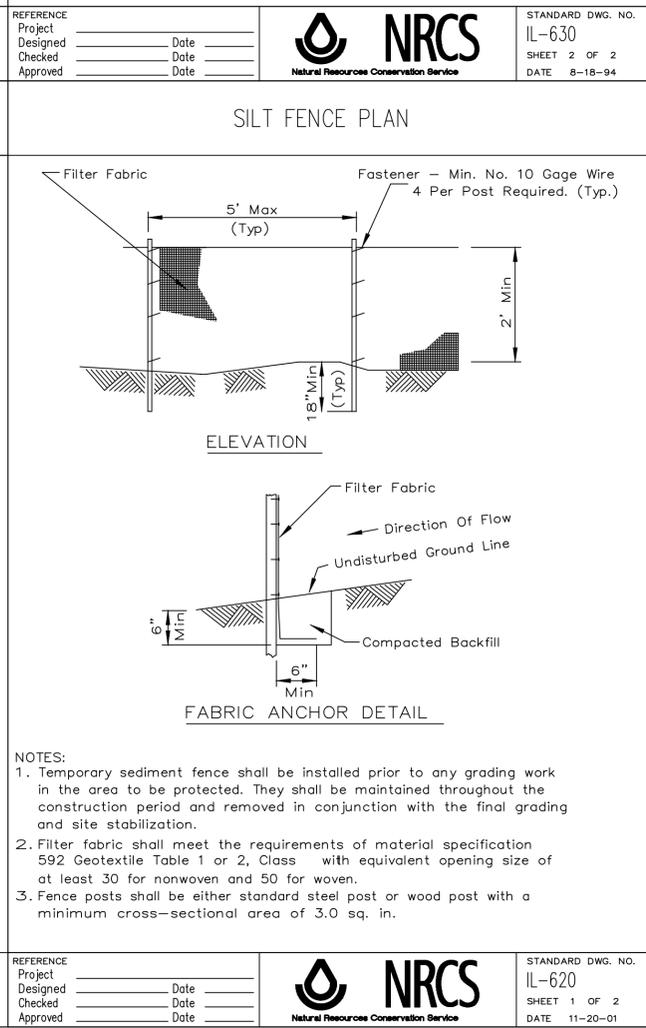
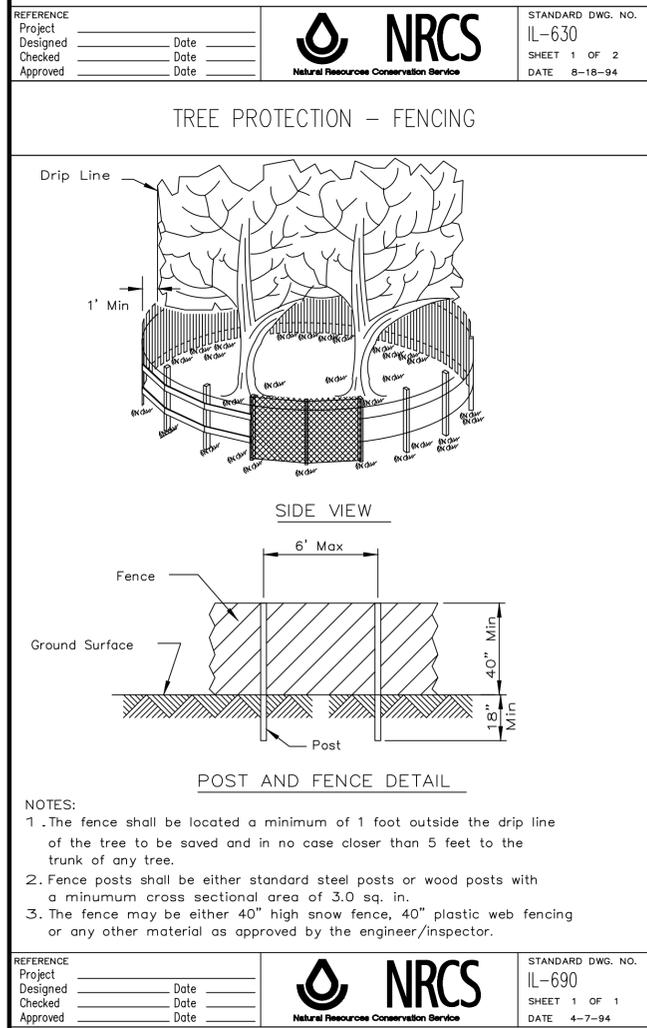
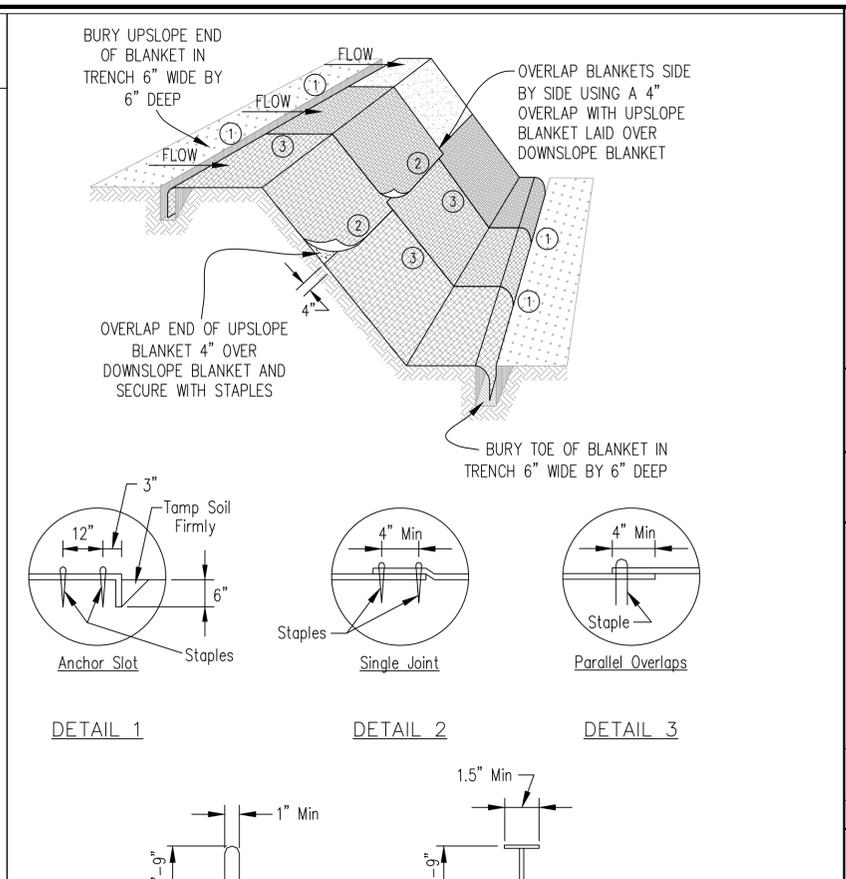
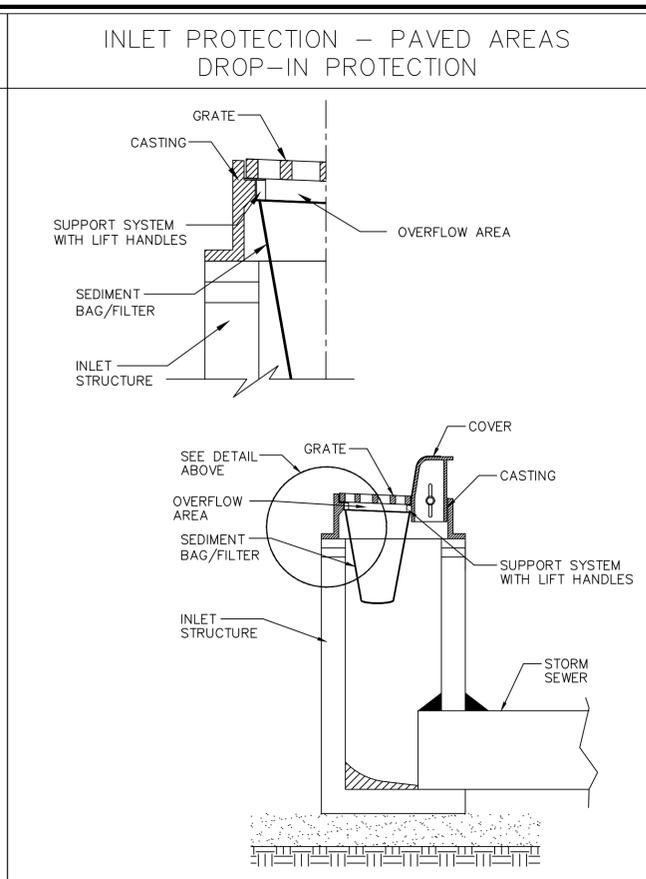
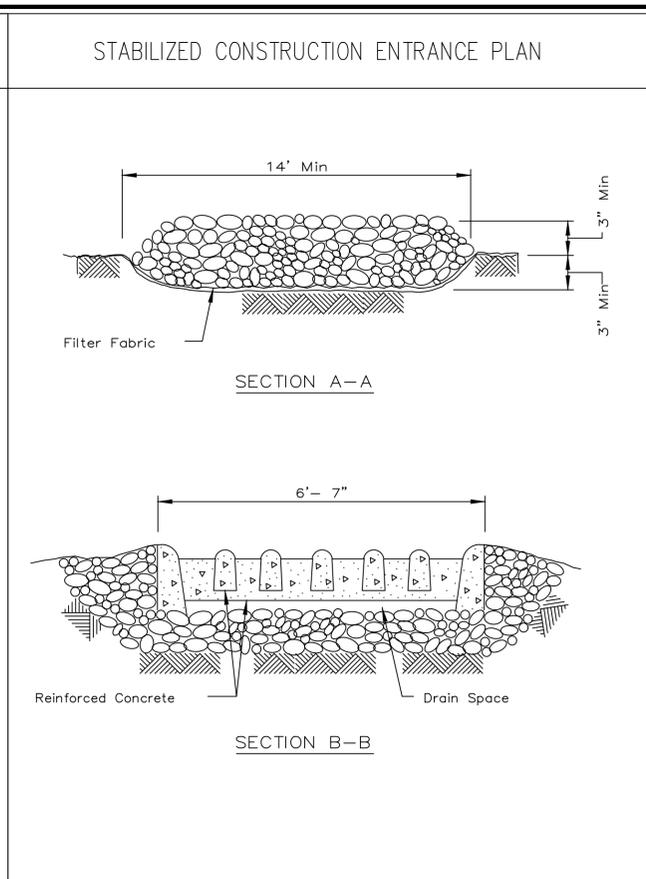
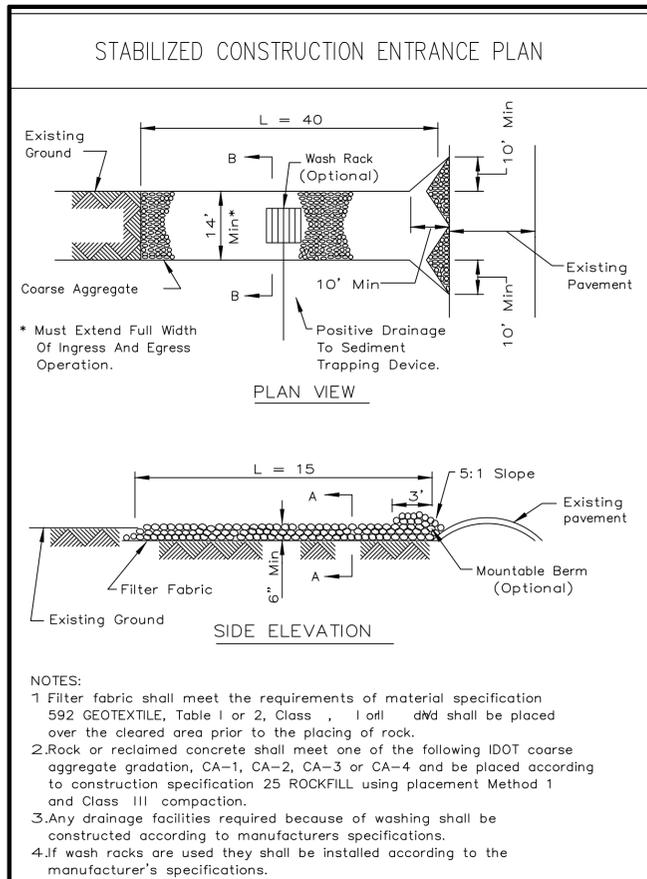
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| DSGN. | JCL | AJR | JCL | SCALE: 1" = 30' | SE130266A.DWG |
| DWN. | | | | | |
| CHKD. | | | | | |
| NO. | DATE | NATURE OF REVISION | | | |

CLIENT : **INLAND NATIONAL DEVELOPMENT CORPORATION 2901 BUTTERFIELD ROAD OAK BROOK, IL 60523 (630) 218-8000**

WBK ENGINEERING, LLC
 8 EAST GALENA BLVD, SUITE 402
 AURORA, ILLINOIS 60506
 (630) 701-2245

WBK engineering

PROJECT NO. 130266A
 DATE : 06/24/2015
 DRAWING NO. **SE1**
 SHEET:
110F19



| | | | |
|-------------------|---------------------------|--------------------------|---------------------------|
| REFERENCE Project | DESIGNED _____ Date _____ | CHECKED _____ Date _____ | APPROVED _____ Date _____ |
| STANDARD DWG. NO. | IL-630 | | |
| SHEET | 1 OF 2 | | |
| DATE | 8-18-94 | | |

NRCS
Natural Resource Conservation Service

| | | | |
|-------------------|---------------------------|--------------------------|---------------------------|
| REFERENCE Project | DESIGNED _____ Date _____ | CHECKED _____ Date _____ | APPROVED _____ Date _____ |
| STANDARD DWG. NO. | IL-630 | | |
| SHEET | 2 OF 2 | | |
| DATE | 8-18-94 | | |

NRCS
Natural Resource Conservation Service

| | | | |
|-------------------|---------------------------|--------------------------|---------------------------|
| REFERENCE Project | DESIGNED _____ Date _____ | CHECKED _____ Date _____ | APPROVED _____ Date _____ |
| STANDARD DWG. NO. | IUM-561D | | |
| SHEET | 1 OF 1 | | |
| DATE | 01-11-11 | | |

NRCS
Natural Resource Conservation Service

| | | | |
|-------------------|---------------------------|--------------------------|---------------------------|
| REFERENCE Project | DESIGNED _____ Date _____ | CHECKED _____ Date _____ | APPROVED _____ Date _____ |
| STANDARD DWG. NO. | IL-690 | | |
| SHEET | 1 OF 1 | | |
| DATE | 4-7-94 | | |

NRCS
Natural Resource Conservation Service

| | | | |
|-------------------|---------------------------|--------------------------|---------------------------|
| REFERENCE Project | DESIGNED _____ Date _____ | CHECKED _____ Date _____ | APPROVED _____ Date _____ |
| STANDARD DWG. NO. | IL-620 | | |
| SHEET | 1 OF 2 | | |
| DATE | 11-20-01 | | |

NRCS
Natural Resource Conservation Service

| | | | |
|-------------------|---------------------------|--------------------------|---------------------------|
| REFERENCE Project | DESIGNED _____ Date _____ | CHECKED _____ Date _____ | APPROVED _____ Date _____ |
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| SHEET | 2 OF 2 | | |
| DATE | 1-29-99 | | |

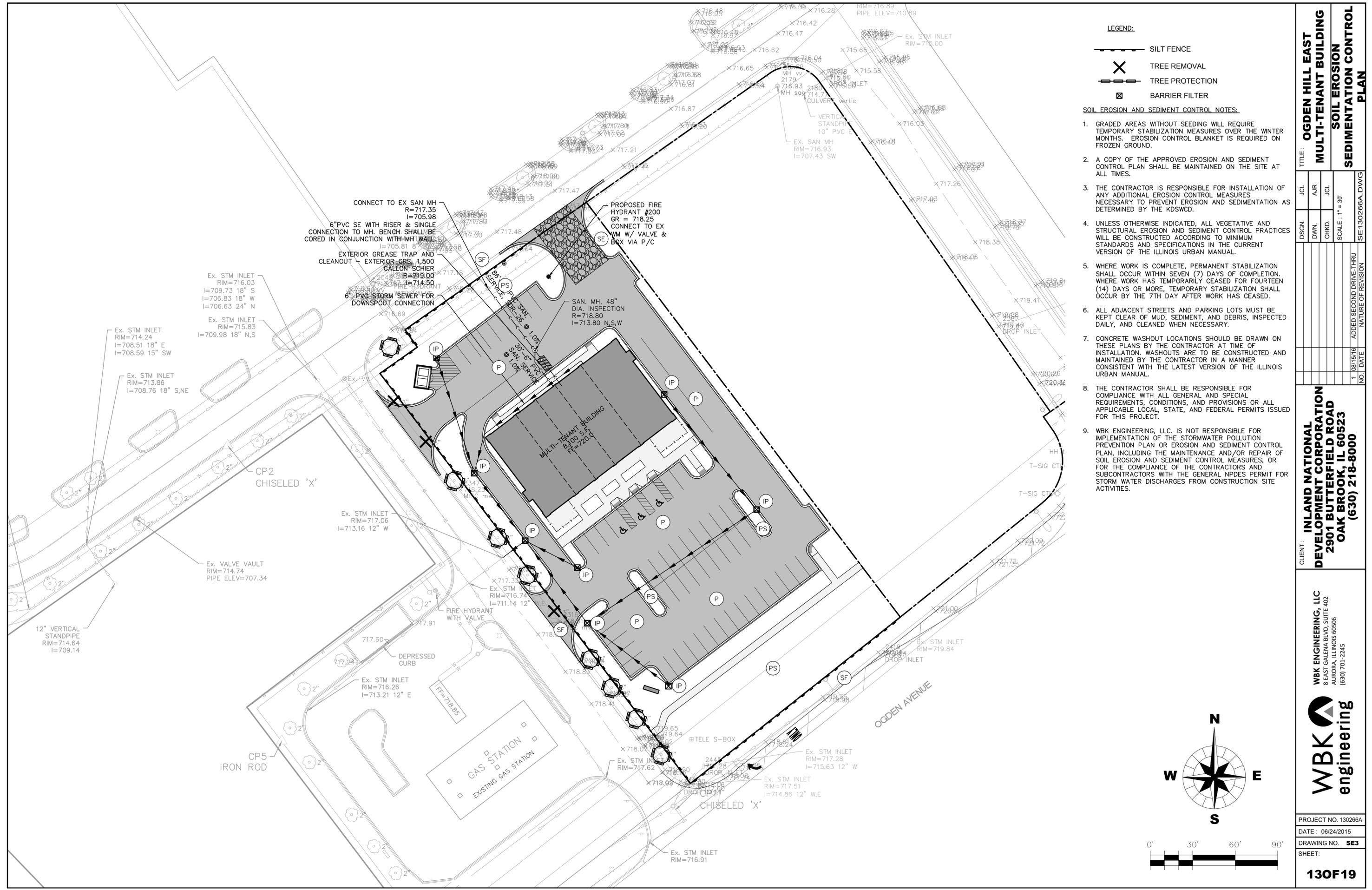
NRCS
Natural Resource Conservation Service

TEMPORARY CONCRETE WASHOUT FACILITY – STRAW BALE

TITLE: **OGDEN HILL EAST MULTI-TENANT BUILDING SOIL EROSION SEDIMENTATION CONTROL PLAN**

CLIENT: **INLAND NATIONAL DEVELOPMENT CORPORATION 2901 BUTTERFIELD ROAD OAK BROOK, IL 60523 (630) 218-8000**

PROJECT NO. 130266A
 DATE: 06/24/2015
 DRAWING NO. **SE2**
 SHEET: **120F19**

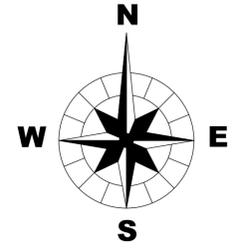


LEGEND:

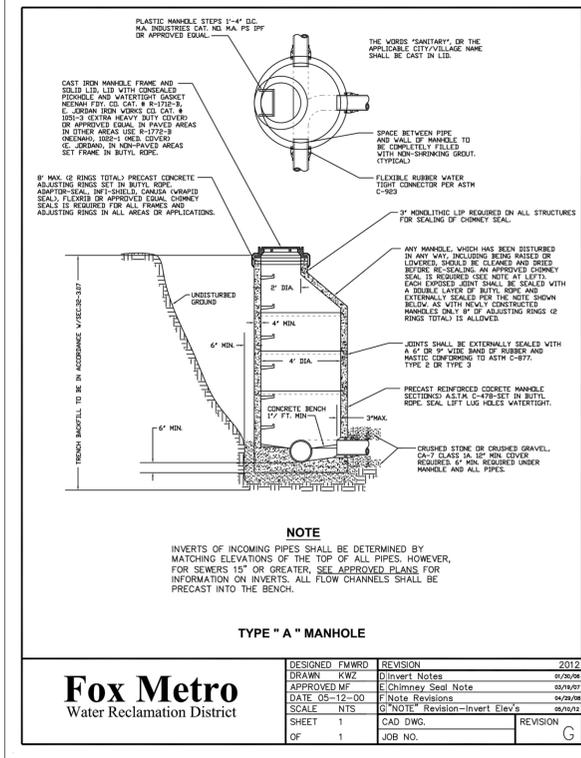
- SILT FENCE
- TREE REMOVAL
- TREE PROTECTION
- BARRIER FILTER

SOIL EROSION AND SEDIMENT CONTROL NOTES:

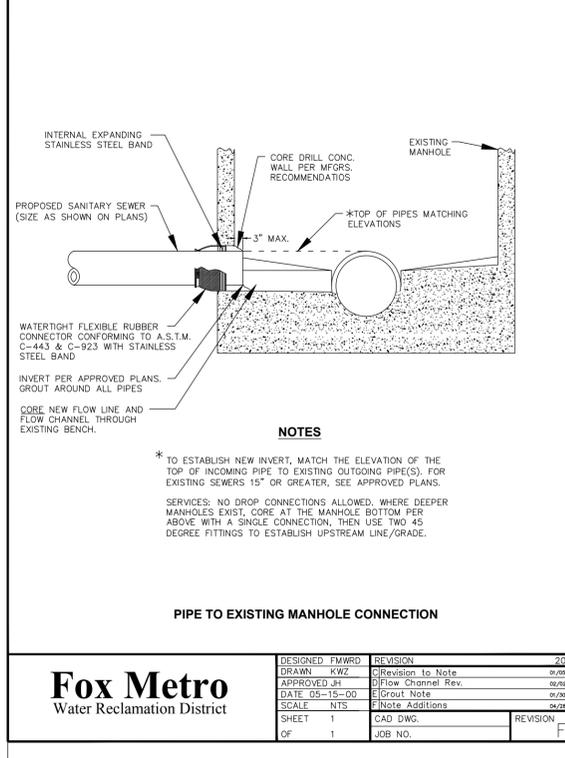
1. GRADED AREAS WITHOUT SEEDING WILL REQUIRE TEMPORARY STABILIZATION MEASURES OVER THE WINTER MONTHS. EROSION CONTROL BLANKET IS REQUIRED ON FROZEN GROUND.
2. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
3. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE KDSWCD.
4. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS IN THE CURRENT VERSION OF THE ILLINOIS URBAN MANUAL.
5. WHERE WORK IS COMPLETE, PERMANENT STABILIZATION SHALL OCCUR WITHIN SEVEN (7) DAYS OF COMPLETION. WHERE WORK HAS TEMPORARILY CEASED FOR FOURTEEN (14) DAYS OR MORE, TEMPORARY STABILIZATION SHALL OCCUR BY THE 7TH DAY AFTER WORK HAS CEASED.
6. ALL ADJACENT STREETS AND PARKING LOTS MUST BE KEPT CLEAR OF MUD, SEDIMENT, AND DEBRIS, INSPECTED DAILY, AND CLEANED WHEN NECESSARY.
7. CONCRETE WASHOUT LOCATIONS SHOULD BE DRAWN ON THESE PLANS BY THE CONTRACTOR AT TIME OF INSTALLATION. WASHOUTS ARE TO BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN A MANNER CONSISTENT WITH THE LATEST VERSION OF THE ILLINOIS URBAN MANUAL.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL GENERAL AND SPECIAL REQUIREMENTS, CONDITIONS, AND PROVISIONS OR ALL APPLICABLE LOCAL, STATE, AND FEDERAL PERMITS ISSUED FOR THIS PROJECT.
9. WBK ENGINEERING, LLC. IS NOT RESPONSIBLE FOR IMPLEMENTATION OF THE STORMWATER POLLUTION PREVENTION PLAN OR EROSION AND SEDIMENT CONTROL PLAN, INCLUDING THE MAINTENANCE AND/OR REPAIR OF SOIL EROSION AND SEDIMENT CONTROL MEASURES, OR FOR THE COMPLIANCE OF THE CONTRACTORS AND SUBCONTRACTORS WITH THE GENERAL NPDES PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES.



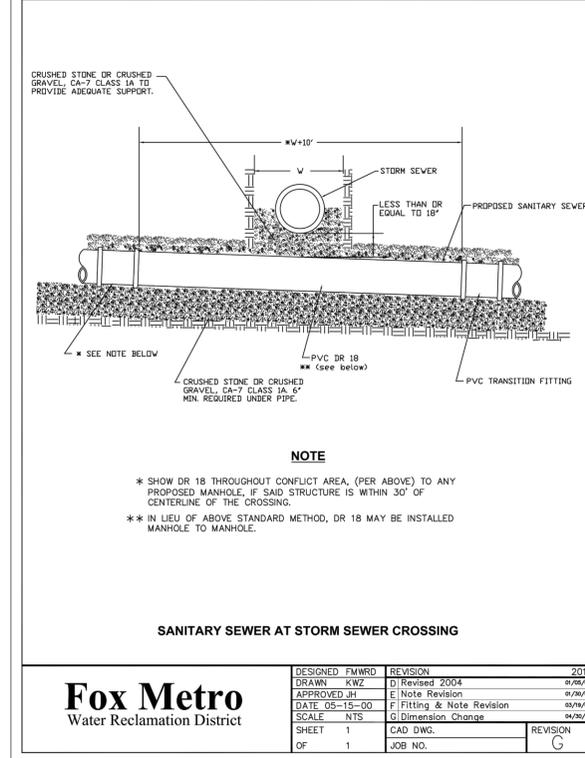
| | | | | | | | | | | | | | | | |
|--|--|-------------------------|--------------------|-------------------------|--------------------|---|----------|--|-------|--|--|--|---|-----------------|----------------|
| TITLE: OGDEN HILL EAST MULTI-TENANT BUILDING SOIL EROSION SEDIMENTATION CONTROL PLAN | | | | | | | | | | | | | | | |
| CLIENT: INLAND NATIONAL DEVELOPMENT CORPORATION 2901 BUTTERFIELD ROAD OAK BROOK, IL 60523 (630) 218-8000 | <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 25%;">NO.</td> <td style="width: 25%;">DATE</td> <td style="width: 25%;">ADDED SECOND DRIVE THRU</td> <td style="width: 25%;">NATURE OF REVISION</td> </tr> <tr> <td>1</td> <td>08/15/16</td> <td></td> <td></td> </tr> </table> | NO. | DATE | ADDED SECOND DRIVE THRU | NATURE OF REVISION | 1 | 08/15/16 | | | | | | | | |
| NO. | DATE | ADDED SECOND DRIVE THRU | NATURE OF REVISION | | | | | | | | | | | | |
| 1 | 08/15/16 | | | | | | | | | | | | | | |
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| DGN. | JCL | AIR | JCL | | | | | | | | | | | | |
| DWN. | | | | | | | | | | | | | | | |
| CHKD. | | | | | | | | | | | | | | | |
| SCALE: 1" = 30' | SE 130266A.DWG | | | | | | | | | | | | | | |
| WBK ENGINEERING, LLC 8 EAST GALENA BLVD, SUITE 402 AURORA, ILLINOIS 60506 (630) 701-2245 | | | | | | | | | | | | | | | |
| PROJECT NO. 130266A | | | | | | | | | | | | | | | |
| DATE: 06/24/2015 | | | | | | | | | | | | | | | |
| DRAWING NO. SE3 | | | | | | | | | | | | | | | |
| SHEET: | | | | | | | | | | | | | | | |
| 130F19 | | | | | | | | | | | | | | | |



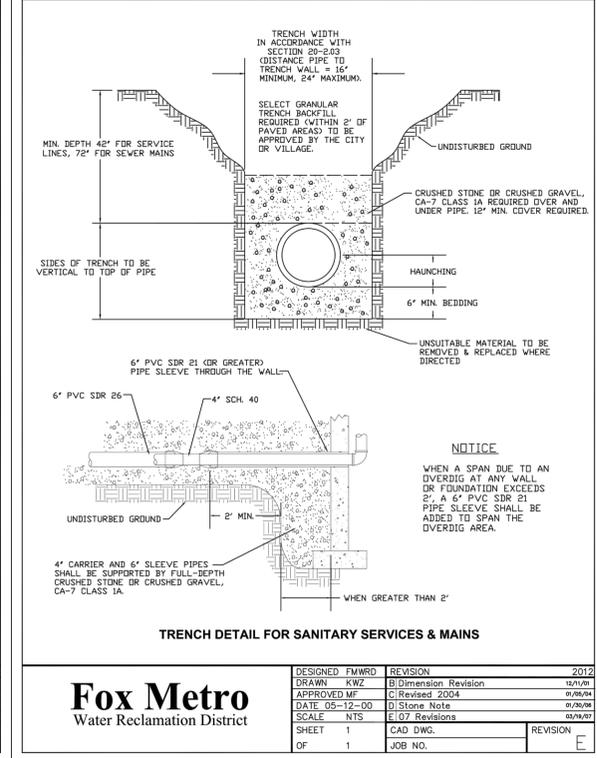
Fox Metro
Water Reclamation District



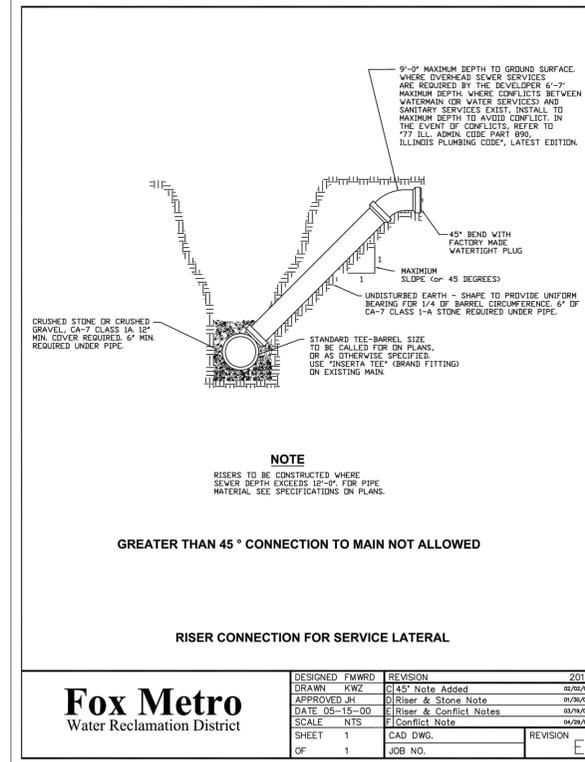
Fox Metro
Water Reclamation District



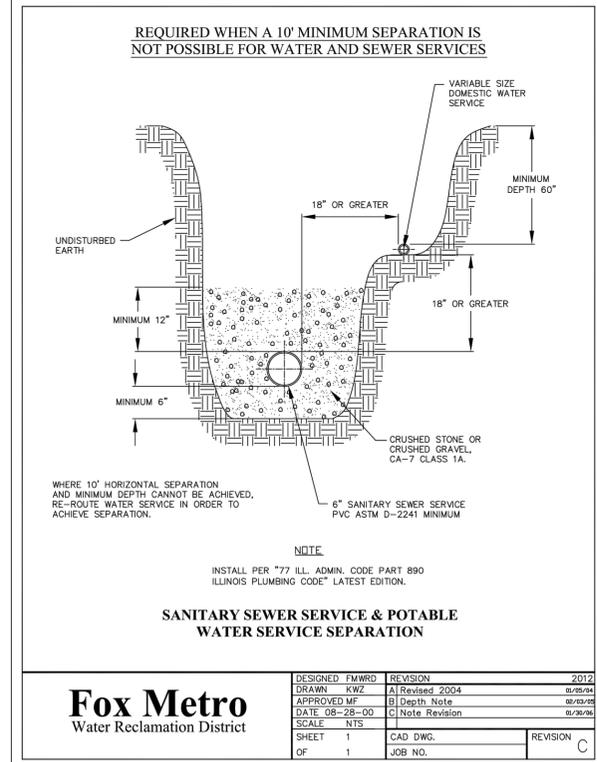
Fox Metro
Water Reclamation District



Fox Metro
Water Reclamation District



Fox Metro
Water Reclamation District



Fox Metro
Water Reclamation District

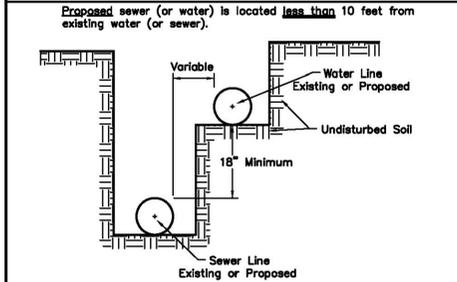
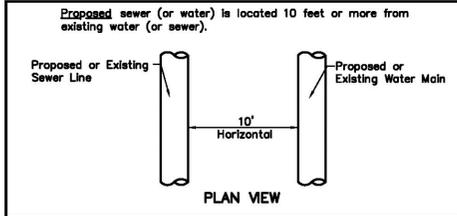
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|--|-----------|
| TITLE : OGDEN HILL EAST MULTI-TENANT BUILDING | |
| DSGN. | JCL |
| DWN. | AJR |
| CHKD. | JCL |
| SCALE | 1/4" = 1' |
| NO. | DATE |
| NATURE OF REVISION | |
| DT1 130266A.DWG | |

CLIENT : **INLAND NATIONAL DEVELOPMENT CORPORATION**
2901 BUTTERFIELD ROAD
OAK BROOK, IL 60523
(630) 218-8000

WBK ENGINEERING, LLC
8 EAST GALERIA BLVD, SUITE 402
AURORA, ILLINOIS 60506
(630) 701-2245

WBK engineering

PROJECT NO. 130266A
DATE : 06/24/2015
DRAWING NO. **DT1**
SHEET:
140F19



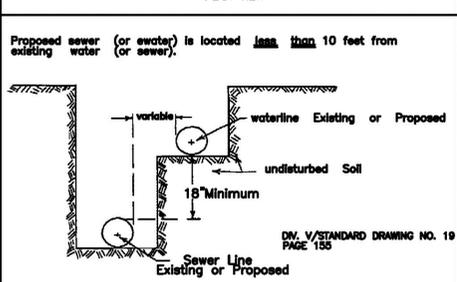
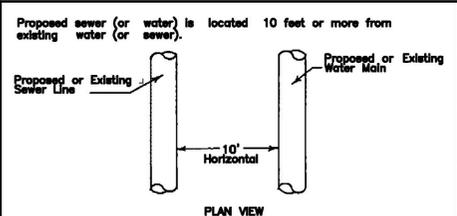
VILLAGE OF MONTGOMERY WATER & SEWER SEPARATION REQUIREMENTS (HORIZ.)

891 KNELL ROAD MONTGOMERY, IL 60538 (330) 896-9241

SCALE: N.T.S. DATE: 04/08/02

DETAIL NUMBER: MONT. E/DETAILS/ D074

DRAWN: WCP



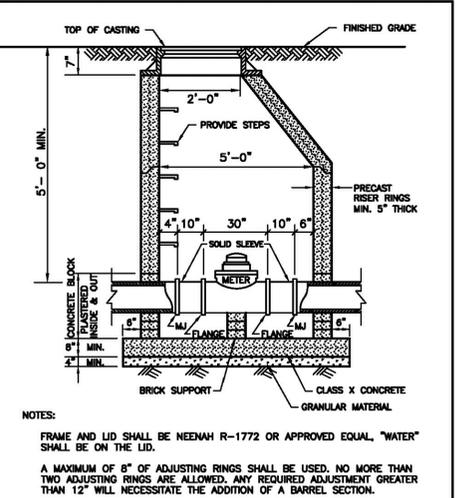
VILLAGE OF MONTGOMERY WATER & SEWER SEPARATION REQUIREMENTS (HORIZONTAL)

891 KNELL ROAD MONTGOMERY, IL 60538 (330) 896-9241

SCALE: N.T.S. DATE: 02/19/10

DETAIL NUMBER: MONT. E/DETAILS/ D054

DRAWN: C.L.N.



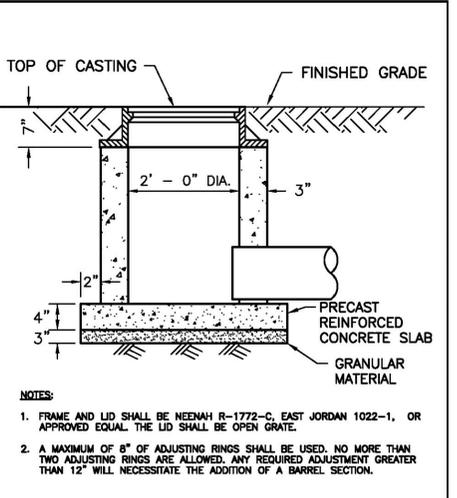
VILLAGE OF MONTGOMERY METER VAULT INSTALLATION

891 KNELL ROAD MONTGOMERY, IL 60538 (330) 896-9241

SCALE: N.T.S. DATE: 1/03/94

DETAIL NUMBER: MONT. E/DETAILS/ D009

DRAWN: J.P.S.



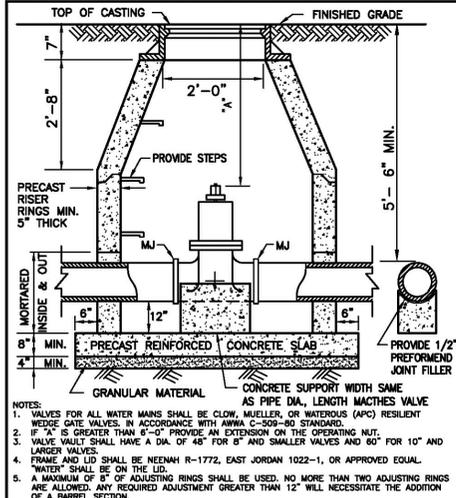
VILLAGE OF MONTGOMERY INLET TYPE A

891 KNELL ROAD MONTGOMERY, IL 60538 (330) 896-9241

SCALE: N.T.S. DATE: 3/30/95

DETAIL NUMBER: MONT. E/DETAILS/ D025

DRAWN: J.P.S.



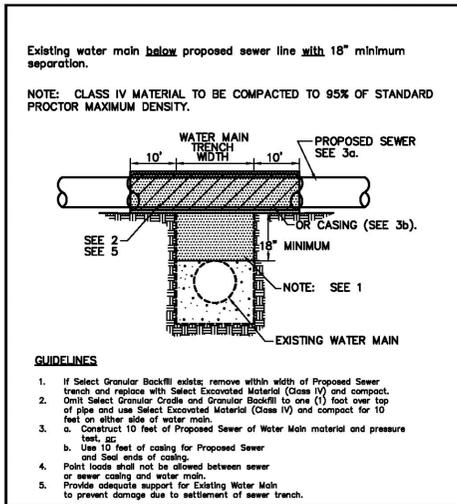
VILLAGE OF MONTGOMERY VALVE VAULT INSTALLATION

891 KNELL ROAD MONTGOMERY, IL 60538 (330) 896-9241

SCALE: N.T.S. DATE: 03/28/95

DETAIL NUMBER: MONT. E/DETAILS/ D006

DRAWN: J.P.S.



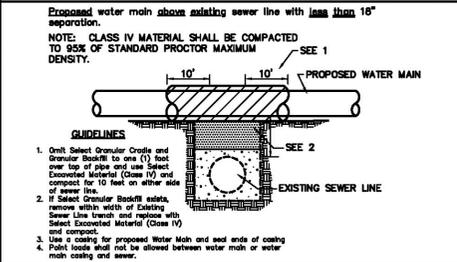
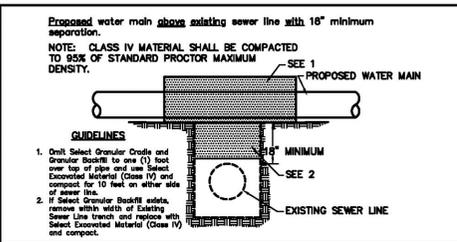
VILLAGE OF MONTGOMERY WATER & SEWER SEPARATION REQUIREMENTS (VERT.)

891 KNELL ROAD MONTGOMERY, IL 60538 (330) 896-9241

SCALE: N.T.S. DATE: 04/08/02

DETAIL NUMBER: MONT. E/DETAILS/ D071

DRAWN: WCP



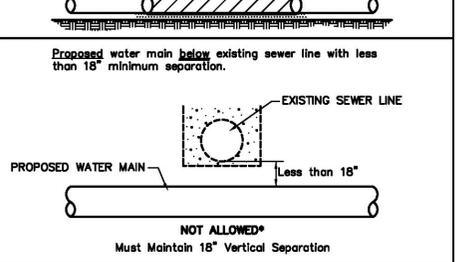
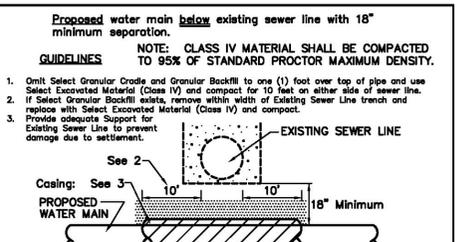
VILLAGE OF MONTGOMERY WATER & SEWER SEPARATION REQUIREMENTS (VERT.)

891 KNELL ROAD MONTGOMERY, IL 60538 (330) 896-9241

SCALE: N.T.S. DATE: 4/08/02

DETAIL NUMBER: MONT. E/DETAILS/ D072

DRAWN: WCP



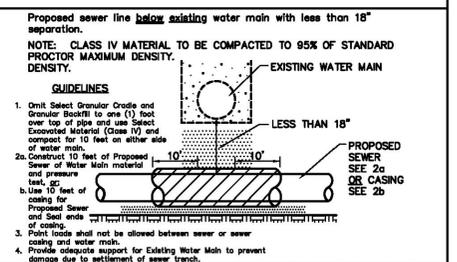
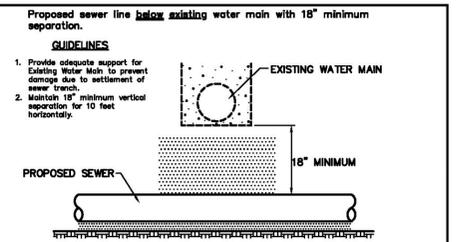
VILLAGE OF MONTGOMERY WATER & SEWER SEPARATION REQUIREMENTS (VERT.)

891 KNELL ROAD MONTGOMERY, IL 60538 (330) 896-9241

SCALE: N.T.S. DATE: 4/08/02

DETAIL NUMBER: MONT. E/DETAILS/ D073

DRAWN: WCP



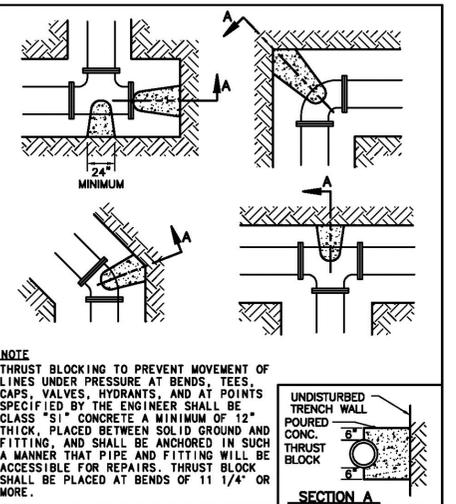
VILLAGE OF MONTGOMERY WATER & SEWER SEPARATION REQUIREMENTS (VERT.)

891 KNELL ROAD MONTGOMERY, IL 60538 (330) 896-9241

SCALE: N.T.S. DATE: 4/08/02

DETAIL NUMBER: MONT. E/DETAILS/ D075

DRAWN: WCP



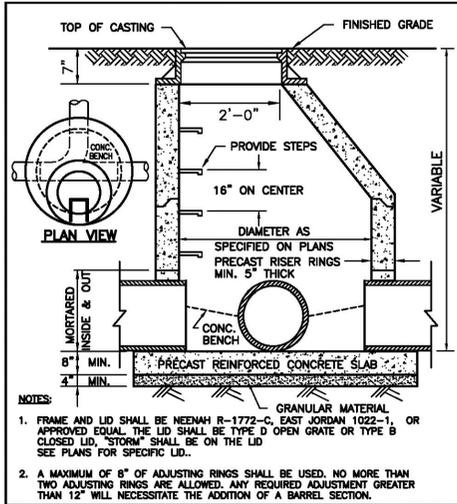
VILLAGE OF MONTGOMERY THRUST BLOCK INSTALLATION

891 KNELL ROAD MONTGOMERY, IL 60538 (330) 896-9241

SCALE: N.T.S. DATE: 01/03/94

DETAIL NUMBER: MONT. E/DETAILS/ D008

DRAWN: J.P.S.



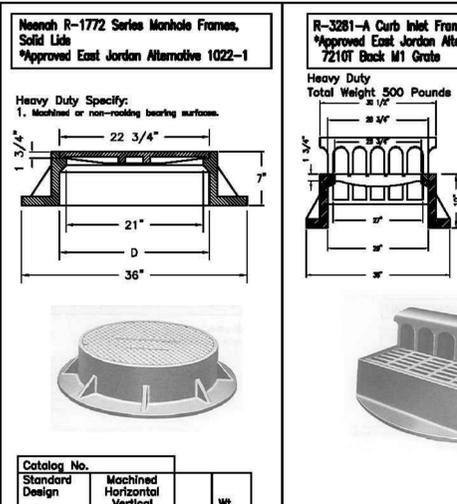
VILLAGE OF MONTGOMERY STORM MANHOLE TYPE A

891 KNELL ROAD MONTGOMERY, IL 60538 (330) 896-9241

SCALE: N.T.S. DATE: 11/28/95

DETAIL NUMBER: MONT. E/DETAILS/ D030

DRAWN: J.P.S.



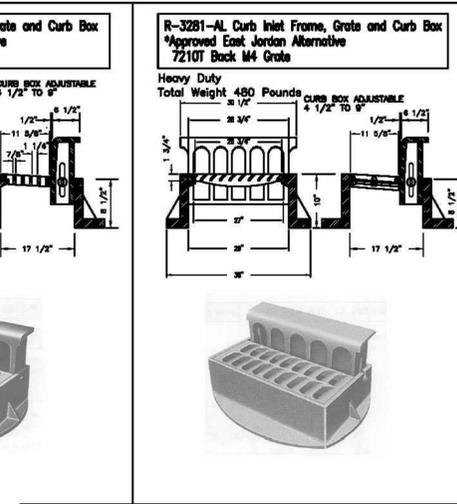
VILLAGE OF MONTGOMERY STANDARD CASTINGS

891 KNELL ROAD MONTGOMERY, IL 60538 (330) 896-9241

SCALE: N.T.S. DATE: 05/22/95

DETAIL NUMBER: MONT. E/DETAILS/ D029

DRAWN: J.P.S.



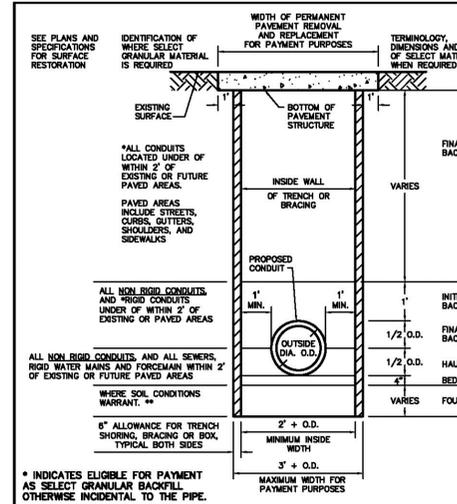
VILLAGE OF MONTGOMERY STANDARD CASTINGS

891 KNELL ROAD MONTGOMERY, IL 60538 (330) 896-9241

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DETAIL NUMBER: MONT. E/DETAILS/ D029

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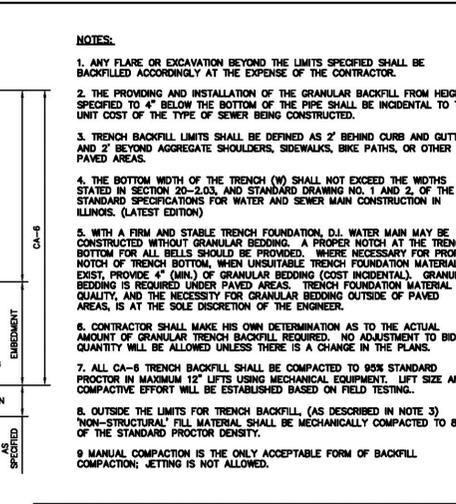
VILLAGE OF MONTGOMERY TYPICAL TRENCH DETAIL

891 KNELL ROAD MONTGOMERY, IL 60538 (330) 896-9241

SCALE: N.T.S. DATE: 04/10/95

DETAIL NUMBER: MONT. E/DETAILS/ D024

DRAWN: J.P.S.



VILLAGE OF MONTGOMERY TYPICAL TRENCH DETAIL

891 KNELL ROAD MONTGOMERY, IL 60538 (330) 896-9241

SCALE: N.T.S. DATE: 04/10/95

DETAIL NUMBER: MONT. E/DETAILS/ D024

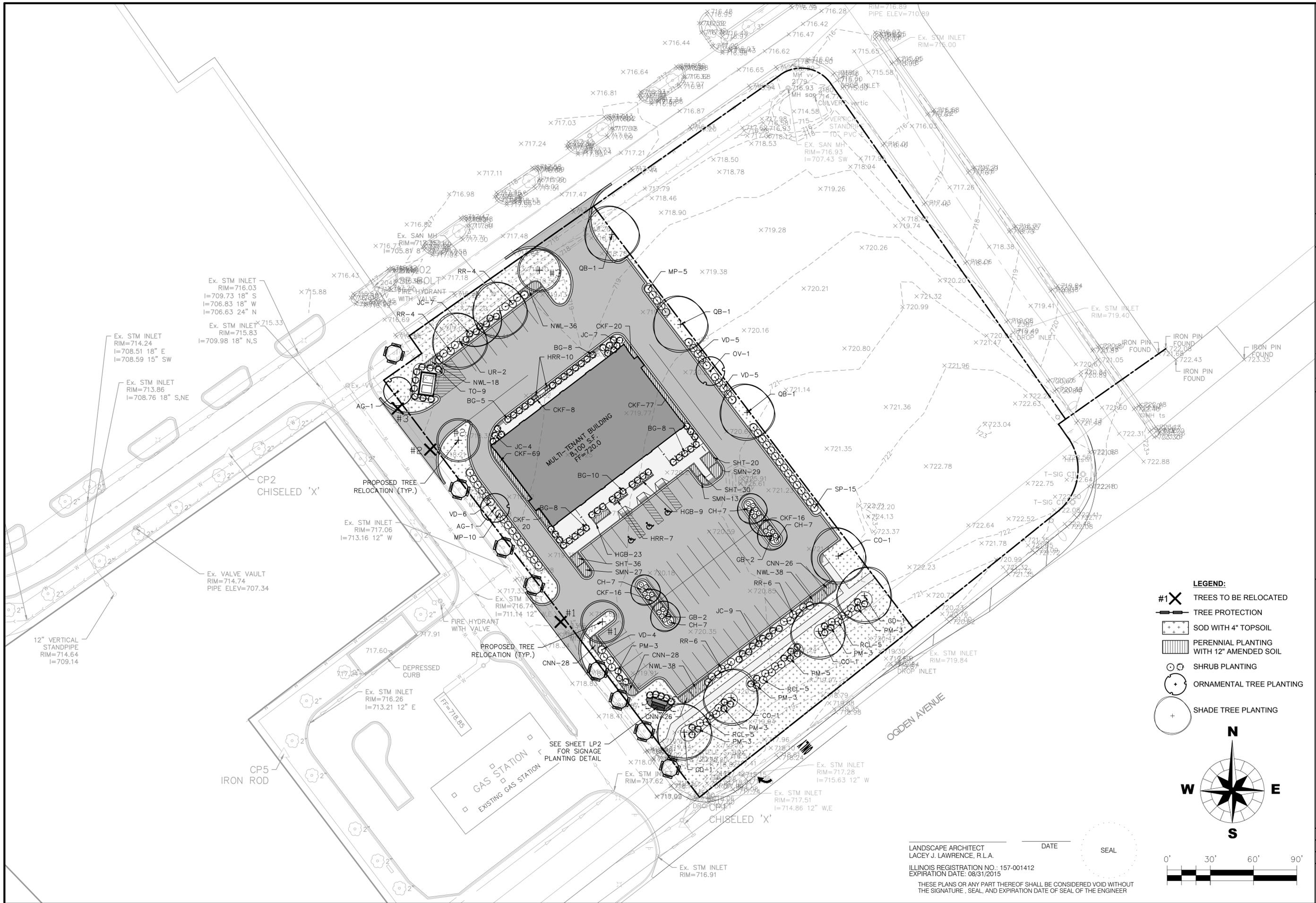
DRAWN: J.P.S.

OGDEN HILL EAST MULTI-TENANT BUILDING
DETAILS
 TITLE: JCL
 DSGN: JCL
 DWN: AJR
 CHKD: JCL
 SCALE: 1/4"=1'-0"
 DT13026GA.DWG
 NATURE OF REVISION: NO. DATE

INLAND NATIONAL DEVELOPMENT CORPORATION
 2901 BUTTERFIELD ROAD
 OAK BROOK, IL 60523
 (630) 218-8000

WBK engineering
 WBK ENGINEERING, LLC
 8 EAST GALENA BLVD, SUITE 402
 AURORA, ILLINOIS 60506
 (630) 701-2245

PROJECT NO. 13026GA
 DATE: 06/24/2015
 DRAWING NO. DT4
 SHEET: 170F19



| | | | |
|---|------|-----------------------|--------------------|
| OGDEN HILL EAST MULTI-TENANT BUILDING | | LANDSCAPE PLAN | |
| TITLE : | LJL | AJR | LJL |
| DSGN. | DWN. | CHKD. | SCALE: 1" = 30' |
| NO. DATE | | | 1 08/15/16 |
| ADDED SECOND DRIVE-THRU | | | NATURE OF REVISION |
| INLAND NATIONAL DEVELOPMENT CORPORATION 2901 BUTTERFIELD ROAD OAK BROOK, IL 60523 (630) 218-8000 | | | |
| CLIENT : WBK ENGINEERING, LLC 8 EAST GALERIA BLDV, SUITE 402 AURORA, ILLINOIS 60506 (630) 701-2245 | | | |
| PROJECT NO. 130266A DATE : 06/24/2015 DRAWING NO. LP1 SHEET: | | | |
| 180F19 | | | |

LANDSCAPE ARCHITECT
LACEY J. LAWRENCE, R.L.A.

ILLINOIS REGISTRATION NO.: 157-001412
EXPIRATION DATE: 08/31/2015

DATE _____ SEAL _____

THESE PLANS OR ANY PART THEREOF SHALL BE CONSIDERED VOID WITHOUT THE SIGNATURE, SEAL, AND EXPIRATION DATE OF SEAL OF THE ENGINEER

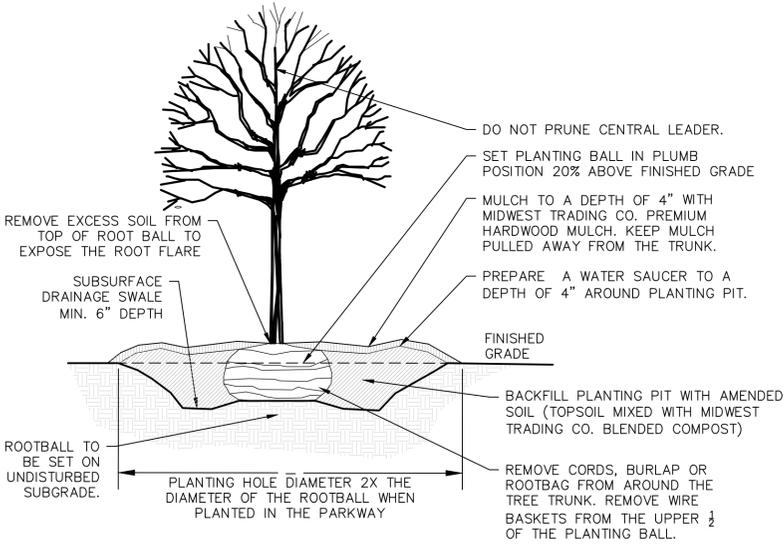
LEGEND:

- #1 X TREES TO BE RELOCATED
- TREE PROTECTION
- +++ SOD WITH 4" TOPSOIL
- |||| PERENNIAL PLANTING WITH 12" AMENDED SOIL
- ⊙ SHRUB PLANTING
- ⊕ ORNAMENTAL TREE PLANTING
- ⊕ SHADE TREE PLANTING

UPDATED 8/17/2016 - ARWK

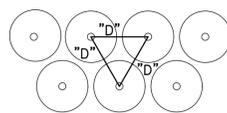
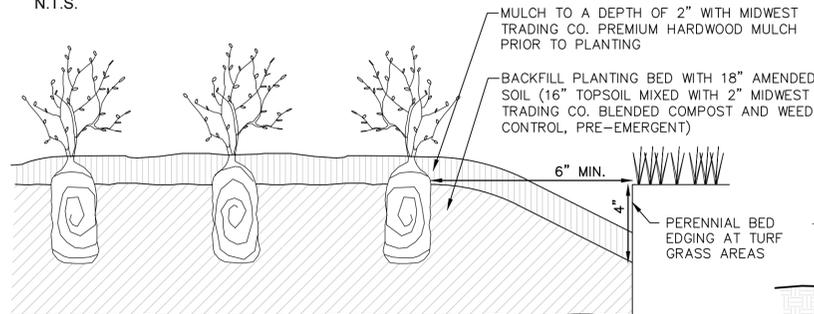
GENERAL NOTES

- A. ALL PLANTS SHALL CONFORM WITH LATEST EDITION OF ANSI Z60.1, AMERICAN STANDARD FOR NURSERY STOCK.
- B. PLANT MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MINIMUM TECHNICAL SPECIFICATIONS OF THE ILLINOIS LANDSCAPE CONTRACTORS ASSOCIATION, INCLUDING THE PROVISIONS FOR GUARANTEE AND REPLACEMENT. AN ONSITE PRE-PLANTING MEETING IS RECOMMENDED BETWEEN THE DEVELOPER AND VILLAGE PRIOR TO INSTALLATION OF THE PLANT MATERIAL. THE APPROVED PLANT MATERIAL SHALL BE ON SITE FOR INSPECTION BY THE VILLAGE TO DETERMINE THE QUANTITY AND SIZE REQUIREMENTS HAVE BEEN MET. A POST PLANTING INSPECTION SHALL BE COMPLETED AND APPROVED PRIOR TO ISSUANCE OF FULL OCCUPANCY.
- C. SPECIFIED VARIETIES OF ANY SPECIES SHALL BE SPECIMEN TYPE TREES AND SHALL BE FIRST CLASS REPRESENTATIVES OF THEIR NORMAL SPECIES AND VARIETIES. THEY SHALL HAVE WELL DEVELOPED ROOT AND BRANCH SYSTEMS, REASONABLY STRAIGHT STEMS, AND A WELL DEFINED SINGLE LEADER.
- D. TREES SHALL BE NURSERY GROWN WITH A GOOD COMPACT, FULLY DEVELOPED FIBROUS ROOT SYSTEM WHICH HAS BEEN DEVELOPED BY PROPER CULTURAL TREATMENT AND IS SUFFICIENT ENOUGH TO INSURE PLANT GROWTH.
- E. TREES SHALL BE A MINIMUM TRUNK DIAMETER OF 2.5 INCHES, CALIPERED AT FOUR AND ONE-HALF FEET ABOVE THE HIGHEST GROUND LEVEL. TREES SHALL BE NORTHERN NURSERY GROWN (HARDINESS ZONE 5 USDA MAP). TREES SHALL HAVE BEEN TRANSPLANTED TWICE, THE LAST TRANSPLANTING NOT LESS THAN FOUR YEARS PRIOR TO PLANTING. ALL TREES SHALL BE TAGGED AND IDENTIFIED AS TO SPECIES, SIZE, AND PLACE OF ORIGIN. TAGS SHALL REMAIN IN PLACE UNTIL INSPECTION AND APPROVAL BY THE PUBLIC WORKS DEPARTMENT IS DONE BOTH AT THE NURSERY AND AT THE FINAL PLANTING SITE. ALL TREES SHALL BE BALLED AND BURLAPPED. ALL TREES SHALL HAVE STRAIGHT TRUNKS AND GOOD BRANCHING. BRANCHES SHALL BEGIN FROM FIVE TO SIX FEET ABOVE THE GROUND LEVEL, AND SHALL BE HIGH QUALITY REPRESENTATIVES OF THEIR SPECIES IN ALL REGARDS, INCLUDING GENERAL SHAPE. EACH TREE SHALL BE PLANTED PLUMB AND AT THE SAME LEVEL AS WHERE IT STOOD IN THE NURSERY IN RELATION TO FINISHED GRADE. BACKFILL SHALL BE BLACK TOPSOIL PROPERLY FERTILIZED WITH ORGANIC FERTILIZER AND SHALL BE THOROUGHLY WATERED WHEN THE HOLE IS TWO-THIRDS FULL OF TOPSOIL. ALL SPOILS SHALL BE REMOVED FROM THE SITE.
- F. AFTER WATERING, THE FILLING SHALL BE COMPLETED AND THE SOIL THOROUGHLY TAPPED. AFTER PLANTING, A FOUR INCH HARDWOOD BARK MULCH OR AN APPROVED EQUAL SHALL BE APPLIED OVER THE DISTURBED GROUND AND A SHALLOW WATERING BASIN PROVIDED AROUND THE TREE.
- G. ALL DIGGING OF TREES IN THE NURSERY AND ALL PLANTING SHALL BE DONE DURING THE PROPER SEASON.
- H. ALL TREES SHALL BE MAINTAINED UNTIL ESTABLISHED. ALL TREES NOT IN A VIGOROUS GROWING CONDITION AFTER ONE GROWING SEASON SHALL BE REPLACED AT THE BEGINNING OF THE NEXT SUCCEEDING PLANTING SEASON.
- I. ALL TREES SHALL BE WRAPPED WITHIN SEVENTY TWO HOURS AFTER PLANTING. TRUNKS OF THE TREES SHALL BE WRAPPED SPIRALLY FROM TOP TO BOTTOM WITH WATERPROOF CREPE PAPER AND SHALL BE SECURELY TIED WITH HEMP CORD AT TOP AND BOTTOM AND AT TWELVE-INCH INTERVALS ALONG THE TRUNK. THE WRAP SHALL COVER THE TRUNK FROM THE GROUND TO THE FIRST BRANCH AND SHALL BE NEAT AND SNUG.



TREE PLANTING DETAIL

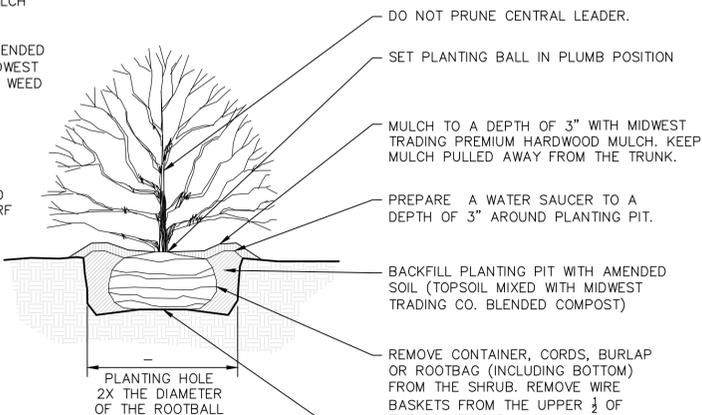
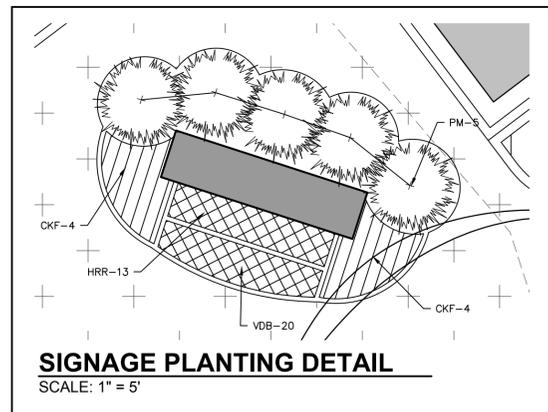
N.T.S.



PERENNIAL PLANTING DETAIL

N.T.S.

| LANDSCAPE PLANTINGS | | | | | |
|---------------------|---------------------------------|---|-----------------------------|-----------|---------------------|
| QUANTITY | CODE | SCIENTIFIC NAME | COMMON NAME | TYPE | SIZE |
| 2 | AG | AMELANCHIER x GRANDIFLORA 'AUTUMN BRILLIANCE' | APPLE SERVICEBERRY | B & B | 6-8' HEIGHT |
| 3 | CO | CELTIS OCCIDENTALIS | HACKBERRY | B & B | 2.5" CALIPER |
| 4 | GB | GINKGO BILOBA 'PRINCETON SENTRY' | MAIDENHAIR TREE | B & B | 2.5" CALIPER |
| 2 | GD | GYMNOCLADUS DIOICUS 'ESPRESSO' | KENTUCKY COFFEE TREE | B & B | 2.5" CALIPER |
| 1 | OV | OSTRYA VIRGINIANA | AMERICAN HOPHORNBEAM | B & B | 6-8' HEIGHT |
| 3 | QB | QUERCUS BICOLOR | SWAMP WHITE OAK | B & B | 2.5" CALIPER |
| 2 | UR | ULMUS CARPINIFOLIA 'REGAL' | REGAL ELM | B & B | 2.5" CALIPER |
| 17 | TOTAL TREE PLANTING | | | | |
| 39 | BG | BUXUS 'GLENCOE' | CHICAGOLAND GREEN BOXWOOD | CONTAINER | 34" HEIGHT |
| 28 | CH | COTONEASTER 'HESSE' | HESSE CONTONEASTER | CONTAINER | 24" SPREAD |
| 27 | JC | JUNIPERUS CHINENSIS 'SEA GREEN' | SEA GREEN JUNIPER | CONTAINER | 24" HEIGHT |
| 15 | MP | MYRICA PENNSYLVANICA | NORTHERN BAYBERRY | CONTAINER | 24" HEIGHT |
| 28 | PM | PINUS MUGO VAR. MUGO | MUGO PINE | CONTAINER | 24" HEIGHT |
| 15 | RCL | RHUS COPALLINA VAR. LATIFOLIA 'MORTON' | PRAIRIE FLAME SHINING SUMAC | CONTAINER | 24" HEIGHT |
| 20 | RR | ROSA RUGOSA 'PURPLE PAVEMENT' | PURPLE PAVEMENT ROSE | CONTAINER | 24" HEIGHT |
| 15 | SP | SYRINGA PATULA 'MISS KIM' | MISS KIM LILAC | CONTAINER | 24" HEIGHT |
| 9 | TO | THUJA OCCIDENTALIS 'SAMARGD' | EMERALD GREEN ARBORVITAE | CONTAINER | 6-8' HEIGHT |
| 20 | VD | VIBURNUM DENTATUM 'CHRISTOM' | BLUE MUFFIN ARROWWOOD | CONTAINER | 24" HEIGHT |
| 216 | TOTAL SHRUB PLANTING | | | | |
| 146 | CNN | CALAMINTHA NEPETA SPP. NEPETA | LESSER CALAMINTHA | CONTAINER | 1 GALLON - 18" O.C. |
| 234 | CKF | CALAMAGROSTIS X ACUTIFLORA 'KARL FORESTER' | FEATHER REED GRASS | CONTAINER | 1 GALLON - 24" O.C. |
| 32 | HGB | HEMEROCALLIS 'GOING BANANAS' | GOING BANANAS DAYLILY | CONTAINER | 1 GALLON - 18" O.C. |
| 29 | HRR | HEMEROCALLIS 'ROSY RETURNS' | ROSY RETURNS DAYLILY | CONTAINER | 1 GALLON - 15" O.C. |
| 130 | NWL | NEPETA RACEMOSA 'WALKER'S LOW' | WALKER'S LOW CATMINT | CONTAINER | 1 GALLON - 18" O.C. |
| 86 | SHT | SPOROBOLUS HETEROLEPIS 'TARA' | DWARF PRAIRIE DROPSEED | CONTAINER | 1 GALLON - 15" O.C. |
| 69 | SMN | SALVIA NEMEROSA 'MAY NIGHT' | MAY NIGHT SALVIA | CONTAINER | 1 GALLON - 18" O.C. |
| 20 | VDB | VINCA MINOR 'DART'S BLUE' | DART'S BLUE PERIWINKLE | PLUG | 10 FLAT - 12" O.C. |
| 740 | TOTAL PERENNIAL PLANTING | | | | |



SHRUB PLANTING DETAIL

N.T.S.

TITLE : **OGDEN HILL EAST MULTI-TENANT BUILDING**

| | | | |
|--------------------|------|-------------|-----|
| DSGN. | LJL | CHKD. | LJL |
| DWN. | AJR | SCALE: 1/8" | |
| NATURE OF REVISION | | | |
| NO. | DATE | | |

CLIENT : **INLAND NATIONAL DEVELOPMENT CORPORATION**
 2901 BUTTERFIELD ROAD
 OAK BROOK, IL 60523
 (630) 218-8000

WBK ENGINEERING, LLC
 8 EAST GALENA BLVD, SUITE 402
 AURORA, ILLINOIS 60506
 (630) 701-2245

WBK engineering

PROJECT NO. 130266A
 DATE : 06/24/2015
 DRAWING NO. **LP2**
 SHEET:

190F19